

Cultural Resource Identification Survey: Historic Architectural Investigation of the Proposed Anderson 400 IEDA Project, Sections 10, 11, 14, and 15, T79N-R05E, Scott County, Iowa

by Richard J. Carlson

William E. Whittaker
Principal Investigator



Prepared by
Office of the State Archaeologist
The University of Iowa
700 Clinton Street Building
Iowa City, IA 52242

Technical Report 711 3rd Revision
2018



Cover image: Marx and Anna Kroeger and their children and other household members in front of their house, now 24502 Great River Road, near Princeton, Scott County, Iowa (site 82-05877), ca. 1895. Photograph in the possession of the Anderson family.

Cultural Resource Identification Survey: Historic
Architectural Investigation of the Proposed Anderson 400
IEDA Project, Sections 10, 11, 14, and 15, T79N-R05E,
Scott County, Iowa

by Richard J. Carlson

William E. Whittaker
Principal Investigator

Prepared for
Marijo Anderson
2745 Hidden Valley Trail NE
Solon, IA 52333

Prepared by
Office of the State Archaeologist
The University of Iowa
700 Clinton Street Building
Iowa City, IA 52242

Technical Report 711 3rd Revision
November 9, 2018

Information contained in this report relating to the nature and location of archaeological sites is considered private and confidential and not for public disclosure in accordance with Section 304 of the National Historic Preservation Act (54 U.S.C. § 307103); 36 CFR Part 800.6 (a)(5) of the Advisory Council on Historic Preservation's rules implementing Sections 106 and 110 of the Act; Section 9(a) of the Archaeological Resource Protection Act (54 U.S.C. § 100707) and, Chapter 22.7, subsection 20 of the Iowa Code

Table of Contents

Abstract	1
Introduction	1
Historical Architectural Assessment	2
Methods.....	2
Previous Historic Architectural Surveys.....	3
Historic Background.....	3
Early Settlement of Princeton Township, Scott County	3
Population of Princeton Township, Scott County	3
City of Princeton	5
Agriculture in Princeton Township.....	6
Transportation in Princeton Township.....	7
Suburbanization along the Mississippi River between Princeton and Le Claire	7
Princeton Township Architecture	8
Hog Houses in Germany and the United States, 1900–1920	11
Hollow Clay Tile Block Construction in Scott County, 1900–1920.....	13
Survey Results	14
Management Recommendations	15
References Cited.....	16
Appendix	28

Tables

Table 1. Properties in Reconnaissance Survey Area Dated in Assessor's Records to 1968 or Earlier.....	9
---	---

Figures

Figure 1. Project location.	20
Figure 2. Project location in relation to surrounding topography.....	21
Figure 3. Reconnaissance survey area photographs: Great River Road post-World War II housing.	22
Figure 4. Project area photographs: Anderson 400 property (David C. and Melissa Hopson Evans Farm, site 82-05875).	23
Figure 5. Project area photographs: Anderson 400 property (David C. and Melissa Hopson Evans Farm, site 82-05875).	24
Figure 6. Reconnaissance survey area photographs: Le Claire Township Octagon Barn (82-00132).....	25
Figure 7. Map showing area (orange outline) where houses comparable to those on the Anderson 400 property were investigated.	26
Figure 8. Project area photographs: Anderson 400 property (David C. and Melissa Hopson Evans Farm, site 82-05875).	27

Abstract

A historic architectural investigation was conducted by the University of Iowa Office of the State Archaeologist (OSA) as part of a Cultural Resource Identification Survey (CRIS) at the location of the proposed Anderson 400 Iowa Economic Development Authority (IEDA) project at 24500 and 24502 Great River Road, near Princeton, Scott County, Iowa. The survey area included the Anderson 400 property itself (the Certification Site) and a .25-mi buffer area around the Certification Site. The survey of the buffer area was limited to a reconnaissance-level survey, while the Certification Site was investigated at the intensive level. The farmstead on the Anderson 400 property contains five architectural sites: the farmstead itself, three current or former houses on the property (sites 82-05875 through 82-05878), and one hog house (site 52-05979). An additional 14 older architectural properties, including one previously recorded site—the Le Claire Township Octagon Barn (site 82-00132)—are located in the buffer area. Based on the historic architectural investigation, the hog house (site 82-05979) on the Certification Site is evaluated as eligible for listing in the National Register of Historic Places (NRHP) under Criteria A and C in the areas of Agriculture and Architecture. It represents a unique example of early tile block hog house design that reflects a blend of several design trends in both the United States and Germany. The remaining four sites on the Anderson 400 property are evaluated as not eligible for listing in the National Register of Historic Places under Criterion A, B, or C, or Criteria Considerations A through G. The 14 older sites in the .25-mi buffer area are given a preliminary evaluation here as unlikely to be eligible for listing in the NRHP under any criterion. It should be noted that a full historic architectural investigation could change any of these preliminary NRHP evaluations. In particular, if the octagonal form of the Le Claire Township Octagon Barn is determined to be sufficiently important on its own to support NRHP eligibility under Criterion A or C despite the building's substantially compromised integrity, or if it determined that the changes made to the building are easily reversible, then a reconsideration of the preliminary NRHP evaluation of that property is recommended.

Introduction

The Office of the State Archaeologist (OSA) of the University of Iowa has prepared this report under the terms of a cultural resource survey agreement between the OSA and Marijo Anderson of Solon, Iowa. This report records the results of a historic architectural investigation of the proposed Anderson 400 Iowa Economic Development Authority (IEDA) project conducted as part of a Cultural Resource Identification Survey (CRIS) of the property. The proposed project involves satisfying historic architectural certification criteria of the project area for the IEDA Green Certification Program. Although the present survey was originally conducted under the terms of the Memorandum of Understanding (MOU) between the IEDA and the Iowa State Historic Preservation Office (SHPO) that was in place in January 2018, the present revised version of the survey follows the guidelines for completing a CRIS detailed in a September 2018 revision to the MOU. The project area is situated at 24500 and 24502 Great River Road, in Sections 10 and 11, T79N-R05E, southwest of Princeton, Scott County, Iowa. The survey area includes the Certification Site for evaluations of direct effects and a .25-mi buffer area around the project area for evaluations of indirect effects (Figures 1–2).

The historic architectural investigation was conducted on February 22 and April 25, 2018, by Richard J. Carlson. Carlson served as report author and William Whittaker served as project director. Figures 1 and 2 in the Iowa Site Inventory Forms for site 82-05875 were created by Maria Schroeder.

The OSA is solely responsible for the interpretations and recommendations contained in this report. All records including maps and figures are curated in the OSA Archives. The Historic Architectural Data Base (HADB) Form for HADB Document No. 82-069 and the Iowa Site Inventory forms for sites 82-05875 through 82-05878 and site 82-05979 are included as an appendix.

Historical Architectural Assessment

METHODS

Following the Memorandum of Understanding (MOU) between the IEDA and the Iowa State Historic Preservation Office (SHPO) dated January 2018, the historic architectural survey area adopted was the extent of the Anderson 400 parcel at 24500 and 24502 Great River Road, near Princeton, Scott County, Iowa—also known as the Certification Site—and a .25-mi buffer area around the Certification Site. The Certification Site and buffer area are located in parts of Sections 10, 11, 14, and 15, T79N-R05E. Following the MOU, the historic architectural survey was originally conducted at the reconnaissance level, although site-specific research on the farmstead at the Certification Site approached the intensive level. The farmstead was assigned a State Inventory Number (82-05875), and three individual buildings on the site that were considered to be of sufficient importance to warrant their own site numbers—house I, house II, and house III—were assigned State Inventory numbers 82-05876 through 82-05878. The only previously recorded architectural site in the survey area (Certification Site or buffer area) is the Le Claire Township Octagon Barn (site 82-00132).

Fieldwork was conducted on February 22 and April 25, 2018, by Richard Carlson, architectural historian. The survey of the Certification Site approached the intensive level, and included recording and describing the designs and materials of the extant buildings and structures on the property, estimating their dates of construction, preparing a general plan map, and photographing important site elements. The survey was guided by standards for identification and evaluation of historic properties, as defined by the State Historic Preservation Office of the State Historical Society of Iowa (Iowa State Historic Preservation Office 2014). The reconnaissance survey of the .25-mi buffer area involved a windshield survey of the area, coupled with an examination of county assessor's records, current and historical aerial photographs, and the list of previously recorded architectural properties in the area maintained by the SHPO. Property types in the buffer area were identified, and historic contexts for these property types were developed.

Both before and after the field investigation, historical research on the survey area was conducted at the State Historical Society of Iowa and the Map Library at the University of Iowa, both in Iowa City. Sources consulted included county histories, county atlases, historical aerial photographs, and vital statistics records. Additional research in land records was conducted in the Scott County Auditor's Office and the Scott County Recorder's Office, both in Davenport. Finally, research was conducted online, particularly census research on Ancestry.com and historical newspaper research on NewspaperARCHIVE.com and Newspapers.com.

After the original report was completed in May 2018, the client requested that additional acreage be added to the Certification Site. The report was revised in June 2018 to reflect the expanded boundary. The SHPO declined to accept the June 2018 report because it did not contain additional information required under a proposed revision to the MOU then under discussion between IEDA and SHPO. The revised MOU, dated September 2018, required survey of the Certification Site at the intensive level rather than the reconnaissance level. Additional research was therefore conducted in October and November 2018 to meet

the terms of the revised MOU. This additional research focused on an evaluation of the hog house, using German and United States sources from the 1910s and 1920s available online and through interlibrary loan.

PREVIOUS HISTORIC ARCHITECTURAL SURVEYS

No historic architectural surveys that overlap the either survey area or elsewhere in rural Princeton or Le Claire townships were identified during the literature review for the present project. One archaeological investigation conducted for a proposed communications tower project in 2001 resulted in the identification of seven architectural sites in the city of Princeton that were evaluated as eligible for NRHP listing. No historic architectural survey report that developed any historic contexts for Princeton accompanied the 2001 archaeological report, however (McFarlane and Mather 2001; Bennett 2018).

Numerous previous historic architectural surveys and evaluations have been conducted investigating other parts of Scott County, particularly properties in Davenport, but those surveys have little or no information relevant to Princeton Township. Two historic architectural survey reports that developed brief historic contexts for the history of agriculture in Scott County and the history of Germans in Scott County are cited below, although they focus on a different part of Scott County (Carlson 2002; Davidson 1991).

Historic Background

The following historic contexts are the most relevant in providing a context in which to evaluate the significance of the older properties in the survey area.

EARLY SETTLEMENT OF PRINCETON TOWNSHIP, SCOTT COUNTY

Princeton Township is located in the northeast corner of Scott County. It is bounded by the Mississippi River on the east and the Wapsipinicon River on the north. The topography of this area includes steeply rolling hills, level upland divides, stepped erosion surfaces, and dendritic drainage networks. The project area is situated along Bud Creek, a small tributary valley just west of the Mississippi bluff line and just south of Princeton (Kendall 2017:2).

The first permanent settlement in Princeton Township was made in the spring of 1836. Among the first settlers was Thomas Hubbard, Sr., who had been living across the river in Illinois, but who in 1836 moved to settle on a location that is now part of the city of Princeton. Although Hubbard later returned to Kentucky, where he had come from originally, members of his family settled in Princeton Township. This was likely the reason that William Hopson, who in 1841 patented the farmstead at the heart of the Anderson 400 parcel, came to Iowa. William Hopson's wife was Rosetta Hubbard, likely a relative of Thomas Hubbard, Sr. (Inter-State 1882:1125, 1202, 1216). For more on the Hopson family, see the Iowa Site Inventory Form for 82-05875.

By 1840, at least 32 adults are documented as having settled in what later became Princeton Township. Additional settlement was reportedly low during the 1840s, and picked up again only after 1850. The first store was established in 1838, and the first steam mill in the same year. Official organization of the county townships came in 1843. A public school was not established until 1846 or 1847. The town of Princeton was platted in 1853, although the town had been started earlier. The city of Princeton was incorporated in 1857 (Inter-State 1882:1202–1205; Davidson 1991:3).

POPULATION OF PRINCETON TOWNSHIP, SCOTT COUNTY

The population of Princeton Township grew rapidly to an early peak of 1,423 in 1860, which remained the record for more than a century. The population dropped fairly steadily for the next 80 years, with only occasional slight upticks in the 1870s and 1910s. In 1940, the township's population reached a low of 809.

The population then rose rapidly until 1980, with the 1940s and 1970s representing the periods of most rapid population growth. In 1980, the population stood at 1,615, the first time since 1860 that the township's decennial population count had exceeded its 1860 peak. The year 1980 marked another watershed year, however, and the township's population has declined slightly in each subsequent census. The population was recorded as 1,405 in 2010. The periods of population decline and growth in the city of Princeton and in the rural areas of the township generally paralleled each other, especially before 1890 and after 1940. The city's population remained stable at between 373 and 414 people between 1890 and 1940, as the rural parts of the township suffered a steady population decline. Both the city and rural areas then grew from 1930 (city) or 1940 (rural areas) to 1980, and experienced declines of roughly similar magnitude since that year (Ancestry 2018; U.S. Bureau of the Census 1921:424, 1952:15–19, 1982:17–24, 2018).

The demographic composition of Princeton Township was set during the mid- to late nineteenth century. A comparison of the places of birth and ethnicities of heads of household listed in the 1870 and 1900 federal census of the township outside the city of Princeton illustrates the pattern (Ancestry 2018). In 1870, the rural part of the township had a population of 699, represented by 127 households. By 1900, the population was only 566, represented by 114 households. In both years, the number of native-born heads of household represented about 70 percent of the total, with the remaining 30 percent foreign-born. In 1870, Pennsylvania was by far the single most common place of birth among the native-born heads of household, represented by 37 of the 127 heads of households (29.1 percent of the total). New York was a distant second, with 14 heads of household (11.0 percent). Next came Iowa and Ohio, with 10 heads of household each. The remaining native-born heads of household came from a scattering of states in New England, the Mid-Atlantic, Midwest, and Upland South regions. The great majority of the foreign-born heads of household in 1870 came from either Ireland or one of six different German states. Together, Ireland and Germany were represented by 15 heads of household each, or nearly a quarter of all heads of household in the township. The remaining foreign-born heads of household in 1870 came from elsewhere in the British Isles or from Switzerland. In 1870, the Anderson 400 property was owned by David and Melissa (Hopson) Evans, who were at the time minorities among both the foreign-born and native-born populations in the township, since David Evans was from Wales and Melissa Hopson was from Kentucky.

By 1900, the demographic composition of the households had shifted, though not extensively. In 1900, heads of household born in Iowa represented by far the largest group of native-born heads of household, with Iowa-born heads in 43 of the 114 households (37.7 percent of the total). Pennsylvania was by this time a distant second, represented by only 19 (16.7 percent) of the heads of household. Another eight heads of household were born in Illinois, with New York and other states in the Midwest or Mid-Atlantic region representing the rest of the native-born population. Among foreign-born heads of household, Germany was by far the most common birth place, with 22 heads of household (19.3 percent of the total). Ireland was a distant second, with nine heads of household, and Sweden and England were the only other countries represented (Ancestry 2018). The Anderson 400 property was owned in 1900 by the Kroeger family, emigrants from Germany.

The German influence in Princeton Township, while extensive, was not nearly as strong as it was elsewhere in Scott County. According to an estimate by Adolph Petersen in 1910, nearly nine-tenths of the land in Scott County was owned at that time by people of German origin (Downer 1910:823). Petersen wrote the following paean to Scott County's German farmers in 1910:

We find that formerly more Americans were landowners in Scott County, but that the German was thrifter, knew better how to manage, and that gradually chances to buy were offered and accepted. It has always been, and still is, possible to tell on what farms a German has had the management, and on what farms a representative of another nationality has tried the remunerative occupation of farming. On the German farms there is system,—no farm machinery rusting in the open, no dilapidated sheds on the place, no rank weeds and evident negligence, as is often the case when

another than a German farms. Of course there are here as is customary, exceptions to the rule. . . . Scott County farmers are with few exceptions German, and wherever one enters a farmhouse one meets with cordial welcome and hospitality [Downer 1910:824].

In 1940, Princeton Township had a population of 396 (Ancestry 2018). More than three quarters of the heads of household (90 of 118) were born in Iowa, and 87 percent were born in an adjacent Midwestern state or a nearby Great Plains state (Illinois, Nebraska, North Dakota, and Wisconsin). The remaining two native-born residents were born in Kentucky and Pennsylvania, bringing the total native-born population to 105, or 89 percent of the total. Foreign-born heads of household, comprising 11 percent of the township's total, included six from Germany, three each from Sweden and Denmark, and one from Northern Ireland.

Princeton Township has been almost exclusively white throughout its history. A search for other racial classifications in the Ancestry.com census databases for the years 1850–1940 reveals that only two African American individuals were ever recorded, both single men: a hotel cook in 1860, presumably in the city of Princeton, and a farm laborer in 1900. No record was found of anyone with any other non-white racial classification during the same period (Ancestry 2018). The 2010 census lists the total population of Princeton Township as 1,405, with 886 living in the city of Princeton. Of these, 1,361, or nearly 97 percent, were white (U.S. Bureau of the Census 2018).

CITY OF PRINCETON

The town of Princeton was first platted in 1853, although a few stores and presumably also residences had been built on or near the present town site since the late 1830s. The city was incorporated in 1857. The population grew rapidly, doubling from 250 to 500 between 1857 and 1858, and doubling again to 1,000 in 1859 (Inter-State 1882:1205–1207). By 1860, the city had a steam saw mill, two steam grist mills, and a planing mill, as well as numerous business buildings and two churches. As noted above, 1860 marked the height of Princeton's nineteenth century population and prosperity, since the railroads bypassed Princeton for more than 40 years. The cities of Clinton to the north and Davenport to the south both grew into sizeable cities because of their positions on rail lines as well as the Mississippi River. Princeton developed as a small-scale shipping point for agricultural products from the surrounding area, but shipping was less efficient in Princeton than it would have been in a railroad town because the products first had to be shipped by ferry across the Mississippi River to Cordova, Illinois, which had rail service. The only other public transportation until the turn of the twentieth century was by stagecoach or steamboat. Lack of rail service also delayed the establishment of other institutions common in small towns. Around 1890, for example, the nearest bank was across the river in Port Byron, Illinois (Scott County Heritage Book Committee 1991:57).

A railroad was finally built to Princeton in 1899, followed soon afterwards by an interurban line in 1904. Both lines extended north out of Davenport along the west bank of the Mississippi River. The coming of the railroad had no significant effect on the small city's population, however, which hovered around 400 between 1890 and 1940. The increased passenger and freight traffic through Princeton appears to have had a positive effect on the development of the town in other ways. The first bank in Princeton was established in 1904, for example, followed by other urban amenities such as electric lighting in 1910, furnished by the interurban railway. On the other hand, two attempts to publish a local newspaper in the years following the arrival of the railroad were short-lived (Scott County Heritage Book Committee 1991:57–58).

The city's population grew slowly but steadily from 1930 to 1970, then jumped rapidly by more than 50 percent between 1970 and 1980, from 633 to 965. This was probably the result of improved highways linking Princeton with the Quad Cities (Davenport, Bettendorf, Rock Island, and Moline), the increased suburbanization of the west bank of the Mississippi River from the mid-twentieth century to the present, and the growth of Princeton and other communities along the river as bedroom communities for Davenport

and other nearby cities. Princeton has maintained its relatively high population level for nearly 40 years, declining only slightly since 1980. The population in 2010 stood at 886.

AGRICULTURE IN PRINCETON TOWNSHIP

Princeton Township has been predominantly agricultural for most of its history. Farming in Scott County in general, and in Princeton Township in particular, has focused on livestock and dairy production. Scott County was included in the Eastern Meat Production Area in both a 1929 study of farming in Iowa and in a 1938 update of that study (Holmes 1929:132, 154; Holmes and Crickman 1938:207, 219–221). Most of the land in this agricultural region was devoted to corn, oats, hay, and pasture, with the great majority of the crops fed to livestock rather than sold as cash crops. Dairying was an important part of the economy in this area. According to the 1938 study, dairy farms predominated in parts of Scott and Muscatine counties located within the so-called “Tri-City milk shed” (Holmes and Crickman 1938:219).

The Kroeger family, who owned the Anderson 400 property from 1889 to 1944, specialized in cattle and hog production. The Kroegers were progressive farmers, and used their German connections to their advantage. They kept up with the latest agricultural practices in Germany as well as in the United States, modeling both their crop and livestock production on the best German examples when they considered the German methods to be superior (*Daily Times* 1914:2; Bliss 1915:10).

The oldest building or structure in the survey area outside the Anderson 400 property is also related to the area’s agricultural history: an octagonal barn built around 1910. This former barn, now a residence, is described in greater detail below. Octagonal barns were first developed in the United States in the 1850s and 1860s and popularized in the 1870s and 1880s. Iowa’s first example was built in Webster County in 1867. They are related to other non-rectangular barn forms, including true-round barns and other types of polygonal barn. Octagonal barns were promoted as cheaper to build than rectangular barns because they use less material than rectangular barns of the same floor area, and also because their walls and roofs are more stable and resistant to wind damage than those of rectangular barns. True-round barns, with a circular footprint, were even more economical, but they were more difficult and therefore more expensive to build, making the octagonal barn a happy medium. At least 38 octagonal barns are known to have been built in Iowa, although only 25 were extant at the time of a survey conducted around 1980 (Soike 1990:5–24). It is likely that several of the barns documented in Soike’s survey are no longer extant. As described below, at least one, located in Jackson County, has been removed.

The overwhelming majority of the township’s residents outside the city of Princeton were farmers for much of the township’s history. A few were identified in census records as cattle or stock dealers, but the number of such stock dealers declined from three in 1870 to one in 1900 and zero in 1940. In the 1870 census, 109 of the 127 heads of household outside of the city of Princeton (86 percent) were listed as farmers, retired farmers, or farm hands, and another three worked as stock or cattle dealers. Aside from five laborers not identified specifically as farm laborers, only one person held a non-agricultural occupation: a ferryman, presumably the one who operated the ferry between Princeton, Iowa, and Cordova, Illinois. In addition, seven widows were listed as housekeepers, and two people had no occupation listed. By 1900, the agricultural focus was even more pronounced, with 108 of the 114 heads of household (95 percent) listed as either farmer or, in three cases, farm laborer. Another person was listed as a stock dealer. Four heads of household had no occupation listed, and were probably either retired or independently wealthy. The occupation of the final person was illegible.

In 1940, after the development of River Road along the Mississippi River with riverfront cabins or houses had been underway for more than a decade, the number of non-agricultural occupations in the township was still only slightly higher than in 1900. In 1940, 102 of the 118 heads of household (86 percent) worked as either farmer, farm manager, or farm laborer. Another eleven (nine percent of the total) had no occupation listed. Since nearly all of the eleven were at least 60 years old, and most lived in the same

household as people who worked as farmers, it appears likely that most or all of the eleven were retired farmers. Only five heads of households in the township (four percent of the total) worked in a non-agricultural occupation. Two worked as laborers, two were foundry workers, and one was a steel worker. The foundry and steel workers most likely commuted to Davenport or elsewhere in the Quad Cities area.

TRANSPORTATION IN PRINCETON TOWNSHIP

Although Princeton was platted a few years before the first railroads were built in Iowa, no railroad was built to Princeton until 1899. The area's transportation networks therefore relied on Scott County's rural farm-to-market roads, which had been established in rudimentary form by 1860, as well as steamboat traffic along the Mississippi River and ferry transport across the river between Princeton, Iowa, and Cordova, Illinois (Hodge 1860; Scott County Heritage Book Committee 1991:57). Early roads in the area had essentially the same alignments as the current Great River Road (U.S. 67) and Lost Grove Road, which extends west from Princeton (Hodge 1860). Little information was found about the effect of steamboat traffic on the development of Princeton. One 1882 newspaper account refers to a steamboat landing at Princeton, and an 1894 map labels one part of the Princeton riverfront as a "steamboat landing," although it is not shown on the 1905 map of Princeton (*Davenport Sunday Democrat* 1882:1; M. Huebinger 1894:44–45; Iowa 1905:58).

Although other parts of Scott County had railroads as early as the 1850s, Princeton Township had to wait until 1899 for its first railroad. This was the Davenport, Rock Island, and North Western (or Northwestern) Railroad, which was built between Rock Island, Illinois, and Clinton, Iowa (*Daily Times* 1900:2). As noted above, by the time the railroad reached Princeton, the population of the area had been declining for decades. Because the rail network was already well established in Scott County by this time, the arrival of the railroad in Princeton appears to have done little to alter the established trade networks. The railroad therefore had little effect on the development of Princeton or the surrounding township, other than to integrate the area more closely with the surrounding urban areas of Clinton and the Quad Cities.

Five years after the railroad was built to Princeton, the Iowa and Illinois Railway Company's interurban line was built from Davenport north along the Mississippi River to Clinton, also passing through Princeton (*Evening Times-Republican* 1904:2). Although neither the railroad nor the interurban had any measurable effect on the population of Princeton or the surrounding area, they may have made the Princeton area more familiar to residents of nearby urban areas. In this way, they may have paved the way for the development of the entire stretch of land along the Mississippi River north of Davenport into suburban residential subdivisions starting in the mid-twentieth century, as described below.

Of ultimately greater importance to the Princeton area was the development of the highway system during the early to mid-twentieth century. The present Great River Road (U.S. 67) was not included among the many private named highways in Iowa in the early years of highway development from 1914 to 1925 (Iowa DOT 1986). The state designated the stretch of road between Davenport and Clinton as Iowa 99 in 1920, although it was already shown with this designation on a 1919 state highway map (Iowa Highway Commission 1919; Hancock 2018). This route was paved from Davenport to Le Claire in 1921–1922, and from Le Claire to the Scott/Clinton County line north of Princeton in 1926. This route was numbered Iowa 99 from 1920 to 1931. It became part of U.S. 55 from 1931 to 1935, and it has been U.S. 67 since 1935 (Hancock 2018). These road improvements helped to increase the importance of highways relative to railroads in connecting rural communities such as Princeton with larger metropolitan areas.

SUBURBANIZATION ALONG THE MISSISSIPPI RIVER BETWEEN PRINCETON AND LE CLAIRE

The proximity of Princeton Township to the Mississippi River and to the Quad Cities has made it an attractive area for suburban development since the mid-twentieth century. This has taken the form primarily

of the development of residential subdivisions overlooking the river, especially along the highway paralleling the river, now U.S. 67. The area is about a half-hour commute north of the Quad Cities.

Based on the historic architectural reconnaissance survey described below, the earliest riverside suburban housing in the Princeton area dates to the 1920s or 1930s. The earliest housing may have been used only during the summer rather than throughout the year, since, as described above, almost no inhabitant of Princeton Township recorded in the 1940 census worked in an occupation other than farming.

After World War II, the construction of riverfront housing increased dramatically along Great River Road/U.S. 67 in the area south of Princeton. Initially most post-war houses were built along the river, with the largest number constructed in the 1960s and 1970s. Starting around the 1990s, new subdivisions were developed on the west side of the highway, away from the river but overlooking it from the bluffs. Nearly two thirds of the houses in the reconnaissance survey area were built in one of these subdivisions during the past 20 years (1998 to 2018). The proposed development of the Anderson 400 property fits into this pattern of development.

PRINCETON TOWNSHIP ARCHITECTURE

The historic architectural survey of the Anderson 400 property was limited to an intensive survey of the Certification Site itself and a reconnaissance survey of a .25-mi buffer area around the property. A total of 61 principal buildings were identified in the survey area outside the Certification Site, all of them residential except for a single modern steel utility building. Only 14 of the 61 surveyed buildings are identified in assessor's records as having been built in or before 1968, the 50-year cutoff date for National Register of Historic Places eligibility without having to meet Criteria Consideration G for modern properties. The majority of these older properties (nine of the 14) are post-World War II houses built between 1947 and 1965. Most of these have been modified, sometimes extensively, through replacement siding and replacement windows and the construction of new additions (Figure 3). The four earliest houses in the survey area are dated in assessor's records to 1930 or 1940. It is possible that the "1940" houses may be misdated in assessor's records, since they are small houses similar to the small gable-roofed houses common in the post-war years. The only pre-1930 building identified in the .25-mi buffer area is a converted octagonal barn dated to ca. 1907 or ca. 1912, depending on the source (see below). The building types of the older buildings in the survey area are listed below in Table 1. A preliminary NRHP evaluation of these properties was conducted as part of the reconnaissance-level survey. Except for the buildings on the Anderson 400 property itself, which were investigated at the intensive level, the preliminary NRHP evaluations presented in Table 1 are based almost entirely on an examination of the buildings' exteriors, and therefore are limited almost entirely to an evaluation of the buildings' eligibility under Criterion C.

As a result of the survey, it was found that no houses of a comparable age to those on the Anderson 400 property (site 82-05875) were located within the buffer area. The three oldest buildings on the Anderson 400 property are house I (site 82-05876), a 1½-story front-gabled house built ca. 1865; house II (site 82-05877), a 1½-story cross-gabled house built ca. 1885; and house III (site 82-05877), a 1½-story cross-gabled house with jerkinhead gables built ca. 1910. All three houses have been modified to some extent in ways that have reduced their period integrity, but all three remain recognizable as representative examples of specific house types popular during their eras of construction (Figures 4–5).

The only notable older building in the survey area outside the Anderson 400 parcel is the Le Claire Township Octagon Barn (site 82-00132) at 23980 Great River Road (Figure 6). This building was built around 1907 or 1912 (sources vary) as an octagonal barn. As of 1979, it retained its original board-and-batten siding but had new fenestration added. By 1983, it was being rented out for private parties. It is now used as a residence (Soike 1990:89; Scott County Assessor 2018). Although this building was evaluated in 1980 as eligible for NRHP listing, it retains nothing of its original appearance other than its distinctive octagonal form (Iowa State Historic Preservation Office 2018). Its period integrity has been compromised

substantially by the introduction of modern siding and modern windows and doors in new openings. Therefore, although it is a unique building locally and unusual statewide, the preliminary evaluation made here is that it is unlikely to meet NRHP eligibility requirements because of its compromised integrity.

Table 1. Properties in Reconnaissance Survey Area Dated in Assessor's Records to 1968 or Earlier.

Address	Assessor's Date of Construction	Building Type	State Inventory Number	Preliminary NRHP Evaluation
23691 Great River Rd.	1940	ranch-style house	N/A	Unlikely to be eligible
23729 Great River Rd.	1940	ranch-style house	N/A	Unlikely to be eligible
23759 Great River Rd.	1930	2-story house (modified Craftsman or neo-Craftsman?)	N/A	Unlikely to be eligible
23779 Great River Rd.	1960	ranch-style house	N/A	Unlikely to be eligible
23809 Great River Rd.	1957	ranch-style house	N/A	Unlikely to be eligible
23831 Great River Rd.	1962	ranch-style house	N/A	Unlikely to be eligible
23899 Great River Rd.	1960	ranch-style house	N/A	Unlikely to be eligible
23911 Great River Rd.	1947	ranch-style house	N/A	Unlikely to be eligible
23927 Great River Rd.	1940	ranch-style house	N/A	Unlikely to be eligible
23979 Great River Rd.	1962	ranch-style house	N/A	Unlikely to be eligible
23980 Great River Rd. (Le Claire Township Octagon Barn)	1907	octagonal barn converted to house	82-00132	Unlikely to be eligible
23985 Great River Rd.	1962	cross-gabled house	N/A	Unlikely to be eligible
24070 Great River Rd.	1965	ranch-style house	N/A	Unlikely to be eligible
24500 and 24502 Great River Rd. (David C. and Melissa Hopson Evans Farm)	N/A	farmstead	82-05875	Unlikely to be eligible
24500 Great River Rd. (house I on David C. and Melissa Hopson Evans Farm)	N/A [probably ca. 1865]	front-gabled house	82-05876	Unlikely to be eligible
24502 Great River Rd. (house II on David C. and Melissa Hopson Evans Farm)	1900 [probably ca. 1885]	cross-gabled house	82-05877	Unlikely to be eligible
24500 Great River Rd. (house III on David C. and Melissa Hopson Evans Farm)	1920 [probably ca. 1910]	cross-gabled house with jerkinhead gables	82-05878	Unlikely to be eligible
1610 Highway 67	1951	ranch-style house	N/A	Unlikely to be eligible

The octagonal barn in the present reconnaissance survey area is the only recorded octagonal barn in Scott County, and one of only two round or polygonal barns of any type in the county. It is also one of only three known octagonal barns in Iowa located in the eastern tier of counties along the Mississippi River. The other two, extant as of 1979, were located in Jackson and Lee counties (Soike 1990:70–94). As of 2018, based on aerial photographs available on Google Maps and on information in county assessor's records, the octagonal barn in Lee County, located at 1561 320th Avenue, remains standing, while the barn in Jackson County, located at 46064 Highway 64, Preston, has been removed.

In order to evaluate the significance and NRHP eligibility of the houses on the Anderson 400 parcel, other nineteenth-century or early-twentieth-century houses in the vicinity were identified to assess the prevalence locally of the house types found on the Anderson 400 property. This investigation was conducted using county assessor's records rather than a windshield survey. Not every property in the vicinity was investigated, since many of the houses now near the Anderson 400 property were built within the past 50 years. Instead, the only properties that were investigated were nearby properties in rural Princeton and Le Claire townships on which houses were shown on the 1882 landowner map of Scott County (Schmidt and Huebinger 1882:17–18). The comparison area included all of T79N-R5E outside of the reconnaissance survey area, except for the eleven sections comprising the western and southern tiers of sections in the township (Figure 7). In practice, this gave a comparison area of 15 full sections and five partial sections along the Mississippi River. Within this comparison area, 100 houses are shown on the 1882 map, not counting the one on the Anderson 400 property. Current aerial photographs and county assessor's records for each of the 100 properties were consulted to determine whether any house still stands on the property, and, if so, when the house was built and what architectural style it represents.

As a result of the investigation, it was found that 40 of the 100 properties now have no building at all; four have some buildings but no house; and 13 have a house, but one built within the past 50 years (1968 or later). Another six properties contain a house built between 1930 and 1968, which represent more recent house types than those found on the Anderson 400 property. Thus 63 of the 100 comparison properties appear to have either no house or only a house built since 1930. It should be noted that any of these properties could possibly contain one or more older houses that have been either abandoned or converted to another use, such as house I on the Anderson 400 property, but these former houses are not typically identified in assessor's records so they are not considered here.

All of the remaining 37 properties contain a house dated in assessor's records to before 1930. Nearly all represent vernacular and in many cases highly altered examples of house forms popular from the mid-nineteenth century to the early twentieth century. Nearly 40 percent—14 of the 37—are 1½-story to 2-story side-gabled or cross-gabled houses, similar in basic form to house II on the Anderson 400 property. The cross-gabled houses typically take one of three forms—gable-front-and-wing with the entrance in the wing, L-shaped, or T-shaped—with the first by far the most common. Other popular house forms in the area include two-story houses with symmetrical 5-bay fronts (four examples) or 3-bay fronts (two examples). Some are side-gabled I-houses while others are boxy Italianate or early Foursquare houses. The Foursquare form is also relatively common in the comparison area, represented by six examples in addition to the possible early Foursquares mentioned above. Only two of the 100 comparison houses have a Queen Anne pinwheel-plan form, and one of the two has been altered extensively. None of the 100 houses strongly represents any of the architectural styles popular in the 1910s or 1920s, such as the Craftsman style or the eclecticism of the 1920s. Only a handful of other house types were observed in the comparison area. Most of these either had been modified extensively or had few identifying architectural characteristics to begin with. In either case, it was impossible to identify a building's date of construction or architectural style or form with any certainty from the limited information in assessor's photographs. None of the comparison houses built in the first decade or two of the twentieth century has either the overall massing or jerkinhead gables of house III on the Anderson 400 property. Similarly, none of the comparison houses appeared to

have much in common with house I on the Anderson 400 property, although any of the houses with a 1½-story gable-roofed section could have been similar to house I in the past.

No attempt was made to identify barn types or other agricultural building types in the comparison area. The barns on the Anderson 400 property have been removed, and the other buildings on the property, with the exception of the hog house, are representative examples of common mid-twentieth century agricultural building types found throughout the grain-producing and stock-raising regions of Iowa. These include frame stock sheds, concrete block workshops, metal grain bins, and frame chicken houses. The NRHP eligibility evaluation of these common secondary agricultural building and structure types does not depend on a comparison to similar buildings and structures in the area, so no preliminary comparison study was undertaken as it was for the three houses on the property. The hog house on the Anderson 400 property is an unusual example of its type, so a historic context for it is presented below (Figure 8).

HOG HOUSES IN GERMANY AND THE UNITED STATES, 1900–1920

Until the turn of the twentieth century, it was common practice for farms in the United States to have no shelter of any kind for their hogs (Louis 1897:134; Fisher 1903:60). Hog houses tended to be small, portable, wooden structures. Agricultural publications at the turn of the twentieth century also routinely disparaged larger hog houses—also typically constructed of wood—for lacking sunlight and proper ventilation, for being generally damp and foul-smelling, and for being unhygienic. In particular, they were faulted for being difficult to sanitize during outbreaks of disease, putting all the hogs housed in the building at risk of infection (Fisher 1903:60–61; Holme 1905:25; Fuller and Ocock 1907:3–4; King 1909:338). Moreover, large hog houses were expensive considering that they were needed for only a few months out of the year (Fuller and Ocock 1907:22; Coburn 1912:448–450). One 1907 publication of the University of Wisconsin Agricultural Experiment Station, while generally promoting small portable hog houses, also included plans for a two large hog houses that began to address the issues of ventilation and hygiene (Fuller and Ocock 1907:22–28). In general, earlier sources discouraged concrete floors in hog houses as being too cold (Louis 1897:146; Fisher 1903:63). Later reports stated that concrete had been used without the ill effects cited in earlier sources. Concrete began to be recommended for flooring more reliably in the 1910s (Coburn 1912:473–477).

By the early 1910s a consensus had emerged that a proper large hog house, if needed at all, should address all of these concerns by having regulated temperatures, adequate ventilation, appropriate amounts of sunlight depending on the season, absence of excess moisture, and hygienic conditions. In addition, the building should be placed on high ground with good drainage, preferably in close proximity to pasture (Coburn 1912:451–452; Gregory 1914:85–91; Evvard and Davidson 1914:203–207). Most examples of hog house plans published between 1910 and 1915 call for central aisles with pens on each side under a gabled roof. Occasionally other building designs were recommended, such as hog houses with one aisle, three aisles, monitor or half-monitor roofs, and other variations. Most of the hog houses described before 1915 appear to have been intended to be constructed of wood, but one Kansas example was described in 1912 as constructed of hollow concrete blocks (Coburn 1912:453–461). Few hollow tile block hog houses are known from before 1915, but starting in that year, multiple sources begin to recommend hollow tile block construction for large communal hog houses (Hollow Building Tile Manufacturers' Association 1915:594–596; Davidson et al. 1916:429, 435).

German sources of the same period also stressed the importance of good ventilation, lighting, and hygiene, and solid housing that protects the hogs from heat, cold, and wind (Rohde 1892:221–227; Koch 1907:16–18; Wagner 1907:412, 417–418; Meyer 1920:136). The principal differences between the hog house designs recommended in German as compared to American sources were differences in the building materials recommended, a focus on a single large hog house rather than multiple small ones, and a much more detailed consideration of the particular spatial needs of particular types of hogs.

While American sources of the period assumed wood as a default construction material, German sources published between 1892 and 1907 uniformly recommend brick walls for hog houses. Brick was recommended for its durability, ability to regulate temperatures, and inhibition of moisture condensation compared to other building materials (Rohde 1892:221–222; Wagner 1907:421). (It should be noted that the recommendations in Rohde [1892] may have been repeated from editions published more than a decade earlier. Rohde [1892] was the fourth edition of this work, and it was the first edition published after the death of its original author in 1881, so it may contain information that dates to the 1870s. Wagner [1907] also cites sources dating to the 1870s through the 1890s.) These sources further recommended that the floors be either of hard brick with cement mortar or else of concrete, insulated with straw and plank flooring (Rohde 222–223; Koch 1907:17; Wagner 1907:422–423). German sources recommended that the individual pens be separated by brick walls, although one source (Wagner 1907) also identified a wide variety of other pen division materials that could be considered, including wood, Monier slabs (a type of early reinforced concrete construction), natural stone, corrugated sheet metal, or iron grating (Rohde 1892:223; Wagner 1907:427–428). Wood partitions were considered less sanitary than masonry partitions, but they could be painted to make them more sanitary, and were cheap enough that they could simply be burned and replaced if there were an outbreak of disease (Rohde 1892:223; Koch 1907:17; Wagner 1907:427–428). Finally, German sources typically went into much greater detail than American sources regarding the dimensions and types of pens recommended for various types of hogs, such as breeding hogs vs. fattening hogs, sows with piglets, and young pigs of various ages. These sources suggested optimal measurements, materials, and features for pens most suitable for each type of pig, including doors, aisles, feeding troughs, and other features (Rohde 1892:228–229; Wagner 1907:413–417). One source went so far as to suggest that the needs of breeding hogs and fattening hogs were so different that separate buildings should be built for each (Wagner 1907:413).

The only post-World War I book consulted for this report, Meyer (1920), was published two years after the end of the war. At the time, Germany was trying to revive its hog industry after its wartime reduction (Meyer 1920:iii–iv). Meyer was critical of the large hog houses that had been promoted in earlier decades, stating that they generally suffered from poor ventilation, poor temperature regulation, and moisture condensation (Meyer 1920:137–138). As a result, he recommended simpler building plans, including those designed by the Vereinigung Deutscher Schweinezüchter (German Pig Breeders' Association). This private organization functioned similarly to agricultural experiment stations at land grant universities in the United States, in that it promoted best practices in hog raising, including promoting hog house building plans. The hog house design from the Vereinigung Deutscher Schweinezüchter presented in Meyer (1920) was radically different from the large brick hog houses recommended in the sources cited above. It was essentially a large wooden A-frame building with small entry wings at the two gable ends under jerkinhead-gabled roofs (Meyer 1920:138, 206–207). For the most part, however, Meyer's discussion of hog house design was limited to the type of large brick hog houses promoted in earlier years. One difference is that instead of brick, he recommended hollow tile block (*Hohlstein*) as the most suitable building material for the exterior walls (Meyer 1920:139). He also recommended wooden partitions between pens and concrete blocks for the floors rather than poured concrete (Meyer 1920:141, 142).

Only two floor plans of hog houses are included in Rohde (1892), both with a separate feeding room and pens of various sizes (Rohde 1892:228–229, 232–233). The eight plans in Wagner (1907) are all for large hog houses with numerous pens, more than one aisle, and usually a large kitchen for preparing the feed (Wagner 1907:434–447). Three plans included in Meyer (1920) comprise two traditional large hog houses, which appear to be of masonry construction, and the Vereinigung Deutscher Schweinezüchter plans mentioned above (Meyer 1920:138, 147–150, 206–207). Some of these plans were for gabled buildings with center aisles and pens on each side of the aisle—the typical form recommended in American sources—but these plans were in the minority.

HOLLOW CLAY TILE BLOCK CONSTRUCTION IN SCOTT COUNTY, 1900–1920

Only one of the sources published before 1916 consulted for the present report mention hollow clay tile block as a possible building material, and that is only a passing mention as a possible type of flooring (Gregory 1914:85). In all other cases, the main construction material for the exterior walls is not mentioned, and is presumed to be wood. Only starting around 1915 were hog house plans published that recommended hollow tile block walls.

Modern structural clay tile had its origins in the 1850s, and became popular in the last quarter of the nineteenth century for use in floors and for fireproofing iron in larger buildings. Other uses, including in load-bearing walls, did not become common until after 1900. As described in one history of tile block building technology, “[s]cientific testing of tiles began in earnest after 1910, and new products with greater compressive strength were developed; tile floor systems evolved and permitted longer floor spans” (Paulson 1995:151).

The use of structural clay tile blocks in load-bearing exterior walls was rare before 1900. In the Quad Cities (Davenport and Bettendorf, Iowa, and Rock Island and Moline, Illinois), the first use of clay tile blocks in such walls may have been in the main building of the Tri-City Bottled Milk & Butter Company plant, built in Rock Island, Illinois, in 1901. Hollow tile was used for the exterior walls of this building for temperature and moisture control and ventilation, and its use was described in one local newspaper as “a novelty in its way” (*Davenport Democrat* 1902:4; see also *Davenport Sunday Democrat* 1901:10). A few years later, Davenport architect C. R. Spink appears to have made something of a specialty of hollow tile block walls in residential construction. He designed at least two such houses in Bettendorf, one for J. E. Brownlee in 1908 and one for W. P. Bettendorf in 1909 (*Davenport Democrat and Leader* 1908:14, 1909:9).

It is not clear when clay tile blocks became popular for agricultural outbuildings. In 1907 or 1908, the agricultural experiment station of Iowa State College of Agriculture and Mechanic Arts (now Iowa State University) in Ames determined that tile block was the best material for silo construction. By 1910, 13 tile block silos had been built in Iowa. The same year, the State of Iowa ordered tile blocks to build silos at eight state institutions (*Davenport Democrat and Leader* 1910a:5, 1910b:5). By 1915, the number of tile block silos in Iowa had risen to 6,000, with 1,500 of them built in 1914 alone. Many more such silos were built in neighboring states (Iowa State College of Agriculture and Mechanic Arts 1915:1; *Davenport Democrat and Leader* 1915:4). As one Iowa State College source stated:

The hollow clay block silos have developed a big industry in Iowa, which now has the biggest manufactures of clay blocks in the United States. The use of this inexpensive building material has reduced the price of every silo at least \$25 over former types. Now the farmers are building corn cribs, other outbuildings and even barns from this material [Iowa State College of Agriculture and Mechanic Arts 1915:1; *Davenport Democrat and Leader* 1915:4].

The first tile block hog house in Iowa was identified in one 1915 newspaper article as a house built in fall 1913 for J. L. Jolley of Adel, Dallas County. In the roughly two years between the construction of that hog house and October 1915, at least nine other tile block hog houses were built in Iowa that were recorded in newspapers of the time. These included four others near Adel; one in Cantril, Van Buren County; two in Madison County that were reportedly modeled after the Cantril hog house; one on the Iowa State College farm in Ames; and the Kroeger farm near Princeton (*Des Moines Register and Leader* 1915a:12, 1915b:9; Hollow Building Tile Manufacturers’ Association 1915:594–596; Bliss 1915:10). One article identified Fonda in Pocahontas County, together with Adel, as the two locations in Iowa with more tile block hog houses than any other place in the state. However, no specifics were offered on the number of such hog houses or the names of their owners in the Fonda area (*Des Moines Register and Leader* 1915a:12).

Of the ten known pre-1916 tile block hog houses in Iowa, all but two were of the “Iowa Sunlit Community Hog House” type. This hog house type was apparently developed both by the Iowa State College agricultural experiment station and independently by hog farmers around the state. It was characterized primarily by a gable roof with skylights to provide sunlight to the hogs on the interior. The other two known pre-1916 hog houses were a half-monitor-roofed hog house for G. A Parker near Adel, and the hog house of interest here: a gambrel-roofed hog house with an overhead loft rather than skylights, built for the Kroegers near Princeton.

While the use of hollow tile block in farm buildings was increasing rapidly in the early 1910s, its use for this purpose was still relatively uncommon by 1914 or early 1915, when the hog house on the Kroeger farm was built. Only two early examples of clay tile block farm buildings in Scott County other than silos were discovered during the research for the present report: the hog house on the Kroeger farm and a round dairy barn built for Charles Nebergall in Blue Grass Township. The Nebergall barn (extant) was listed in the National Register of Historic Places in 1986 (Soike 1990:50–51, 89; *Daily Times* 1915:12; Wikipedia 2018).

Survey Results

A historic architectural investigation of the Anderson 400 property was conducted at an intensive level for the Anderson 400 property itself and at a reconnaissance level for the .25-mi buffer area surrounding the Anderson 400 property. The intensive survey included a full National Register of Historic Places (NRHP) evaluation of the Anderson 400 property (the Certification Site), which included the farmstead, houses I–III, and hog house, documented in Iowa Site Inventory forms for sites 82-05875 through 82-05878 and 82-05979. The reconnaissance survey included preliminary NRHP evaluations of the properties in the buffer area. All of the properties evaluated in this survey include at least one building that is at least 50 years old. A cutoff of 50 years was used to identify all properties that currently meet the minimum age for eligibility to the National Register of Historic Places without having to meet Criteria Consideration G for modern properties (National Park Service 1997:2, 41). The sites were evaluated for historical and architectural significance at the local, state, and national levels. The sites were evaluated within the historic contexts outlined above and developed in the respective Iowa Site Inventory forms that were completed as part of the present report.

Based on the historic architectural investigation, the only property in either the intensive or reconnaissance survey area that is evaluated as eligible for NRHP listing is the hog house (site 82-05979) under Criteria A and C in the areas of Agriculture and Architecture. It represents a unique example of early tile block hog house design that reflects a blend of several design trends in both the United States and Germany. Aside from the hog house, none of the properties investigated in either the reconnaissance or intensive survey is evaluated as likely to be eligible for listing in the National Register of Historic Places (NRHP). In the case of the Anderson 400 farmstead (site 82-05875), the removal of two nineteenth-century barns within the past few years has compromised the period integrity of the farmstead to the extent that it is evaluated as no longer eligible, despite retaining many other buildings and structures that date to the period between about 1865 and 1960. In the case of the three present or former houses on the farmstead (sites 82-05876 through 82-05878), each house appears to retain a better-than-average degree of period integrity compared to surviving examples of houses of a similar age in the area. Nonetheless, changes made to the houses in the past 50 years (or even earlier in the case of house I, site 82-05876) have compromised their period integrity to the extent that none of the houses is evaluated as individually eligible for NRHP listing. The remaining older buildings and structures on the Anderson 400 property, with the exception of the hog house, are representative examples of common building or structure types, and are evaluated as not individually eligible for NRHP listing. The few modern structures on the farmstead are representative

examples of common types, such as metal grain bins and garden sheds, and do not possess the exceptional importance required to meet Criteria Consideration G for modern properties. Finally, because the area along Great River Road (U.S. 67) has seen both the loss of historic buildings and the construction of numerous modern buildings within the past 50 years, no concentration of historic properties in the vicinity of the survey area appears to be eligible as a historic district.

In the reconnaissance survey area outside the Certification Site, 14 architectural properties were identified that appear to be at least 50 years old. The majority of these are post-World War II houses built between 1947 and 1965 that are representative examples of a common mid-twentieth century house type, the ranch-style house. These houses and a handful of other houses that appear to date to the decade or so before World War II have been modified extensively through modern additions and altered siding and fenestration. The only other older property type in the reconnaissance survey area is the Le Claire Township Octagon Barn (site 82-00132), a former octagonal barn built around 1910 that has been modified extensively and converted to a residence. It retains its octagonal form, but its period integrity has been reduced substantially by the introduction of modern siding and modern fenestration in new openings. For the reasons given above, site 82-00132 and the other older properties in the reconnaissance survey area are given a preliminary evaluation here as unlikely to be eligible for listing in the National Register of Historic Places under Criterion A, B, or C, or Criteria Considerations A through G.

Management Recommendations

A historic architectural investigation was conducted by the University of Iowa Office of the State Archaeologist (OSA) as part of a Cultural Resource Identification Survey (CRIS) at the location of the proposed Anderson 400 Iowa Economic Development Authority (IEDA) project at 24500 and 24502 Great River Road, near Princeton, Scott County, Iowa. The survey area included the Anderson 400 property itself (the Certification Site) and a .25-mi buffer area around the Anderson 400 property. The survey of the buffer area was limited to a reconnaissance-level survey, while the Certification Site was investigated at the intensive level. The farmstead on the Certification Site contains five architectural sites: the farmstead itself (site 82-05875), three current or former houses on the property (sites 82-05876 through 82-05878), and a hog house (site 82-05979). An additional 14 older architectural properties, including one previously recorded site—the Le Claire Township Octagon Barn (site 82-00132)—are located in the buffer area. Based on the historic architectural investigation, the hog house (site 82-05979) on the Certification Site is evaluated as eligible for listing in the National Register of Historic Places (NRHP) under Criteria A and C in the areas of Agriculture and Architecture. It represents a unique example of early tile block hog house design that reflects a blend of several design trends in both the United States and Germany. The remaining four sites on the Anderson 400 property are evaluated as not eligible for listing in the National Register of Historic Places under Criterion A, B, or C, or Criteria Considerations A through G. The 14 older sites in the .25-mi buffer area are given a preliminary evaluation here as unlikely to be eligible for listing in the NRHP under any criterion. It should be noted that a full historic architectural investigation could change any of these preliminary NRHP evaluations. In particular, if the octagonal form of the Le Claire Township Octagon Barn is determined to be sufficiently important on its own to support NRHP eligibility under Criterion A or C despite the building's substantially compromised integrity, or if it determined that the changes made to the building are easily reversible, then a reconsideration of the preliminary NRHP evaluation of that property is recommended.

References Cited

- Ancestry
2018 United States Federal Census, Population Schedules, for Princeton and Princeton Township, Scott County, Iowa, for the years 1860, 1870, 1880, 1900, 1910, 1920, 1930, and 1940. Electronic document, www.ancestry.com; accessed May 2018.
- Bennett, Berry
2018 E-mail of May 4, 2018, to Richard Carlson, Architectural Historian, Office of the State Archaeologist. Copy on file, Office of the State Archaeologist, The University of Iowa, Iowa City.
- Bliss, G. R.
1915 Profit Big on Kroeger Place. *The Daily Times* (Davenport, Iowa), February 9, 1915.
- Carlson, Richard J.
2002 *A Phase I Historic Architectural Survey of Primary Roads Project STP-927-0(9)--2C-82, a.k.a. PIN 98-82011-1, Scott County, Iowa*. Project Completion Report 25(19). Office of the State Archaeologist, The University of Iowa, Iowa City.
- Coburn, F. D.
1912 *Swine in America: A Text-book for the Breeder, Feeder & Student*. Orange Judd Co., New York. Available at <https://books.google.com/>; accessed October 30, 2018.
- Daily Times* [Davenport, Iowa]
1900 The First Train. *The Daily Times*, January 2, 1900.
1914 Says Iowans May Learn Much from German Farmers. *The Daily Times*, December 5, 1914.
1915 Magnificent Round Barn Built by Chas. Nebergall of Blue Grass. *The Daily Times*, January 15, 1915.
- Davenport [Iowa] Democrat*
1902 Looked at Milk. *The Davenport Democrat*, January 11, 1902.
- Davenport [Iowa] Democrat and Leader*
1908 Attractive Home for J. E. Brownlee. *The Davenport Democrat and Leader*, February 23, 1908.
1909 Bettendorf Home To Be Old Mission. *The Davenport Democrat and Leader*, January 14, 1909.
1910a A Big Contract for Silo Tile. *The Davenport Democrat and Leader*, June 30, 1910.
1910b A Bulletin on the Iowa Silo. *The Davenport Democrat and Leader*, July 10, 1910.
1915 Hollow Tile on the Farms. Editorial. *The Davenport Democrat and Leader*, March 14, 1915.
- Davenport [Iowa] Sunday Democrat*
1901 A Big Plant. *The Davenport Sunday Democrat*, September 1, 1901.
1882 Clubbed With a Bottle. *The Davenport Sunday Democrat*, August 6, 1882.
- Davidson, Hugh
1991 *A Historic Architectural Survey of Primary Roads Project FR-61-5(67)--20-82, a.k.a. PIN 72-82090-1, Scott County, Iowa*. Project Completion Report 9(105). Office of the State Archaeologist, The University of Iowa, Iowa City.
- Davidson, J. B., John M. Evvard, and W. G. Kaiser. *Community Hog Houses*. Bulletin No. 166 (May 1916), Agricultural Experiment Station, Iowa State College of Agriculture and Mechanic Arts, Ames.
- Des Moines [Iowa] Register and Leader*
1915a Iowa Farm News: Scientifically Built Hog Houses Originated in Iowa. *The Des Moines Register and Leader*, July 17, 1915.
1915b Iowa Farm News: Greene County People Visit Iowa State College; Exclusive Wire Markets. *The Des Moines Register and Leader*, October 27, 1915.
- Downer, Harry E.
1910 *History of Davenport and Scott County, Iowa*. Volume 1. The S. J. Clarke Publishing Co., Chicago.
- Evening Times-Republican* [Marshalltown, Iowa]
1904 New Interurban Opened. *The Evening Times-Republican* (Marshalltown, Iowa), November 28, 1904.
- Evvard, John M., and J. B. Davidson
1914 *Movable Hog Houses*. Bulletin No. 152 (October 1914), Agricultural Experiment Station, Iowa State College of Agriculture and the Mechanic Arts, Ames. Available at <http://lib.dr.iastate.edu/bulletin/vol13/iss152/1>; accessed October 31, 2018.
- Fisher, James
1903 Housing and Care of Swine. *A Hand-Book of Agriculture*. Bulletin No. 17, Wisconsin Farmers' Institutes, pp. 60–64. Available at <https://books.google.com/>; accessed October 30, 2018.

- Fuller, J. G., and C. A. Ocock
1907 *Portable Hog Houses*. Bulletin No. 153 (November 1907). Agricultural Experiment Station, University of Wisconsin, Madison. Available at <https://books.google.com/>; accessed October 30, 2018.
- Gregory, Clifford V.
1914 *Prairie Farmer's Hog Book*. Prairie Farmer Publishing Co., Chicago. Available at <https://books.google.com/>; accessed October 31, 2018.
- Hancock, Jason
2018 The Iowa Highways Page. Sections on Iowa 99(I), U.S. 55, and U.S. 67. Electronic document, www.iowahighways.org/highways/; accessed May 8, 2018.
- Hodge, A.
1860 *Map of Scott County, Iowa*. E. W. Brady and John Hale, Davenport. Available on the Library of Congress web site. Electronic document, www.loc.gov/resource/g4153s.la000204/; accessed May 8, 2018.
- Hollow Building Tile Manufacturers' Association
1915 Added Profits Reward Farmers' Extended Use of Hollow Clay Tile. *Brick and Clay Record*, October 16, 1915, pp. 594–596. Available at <https://books.google.com/>; accessed October 31, 2018. Reprinted from *The Farmers' Review* (date unspecified).
- Holme, P. C.
1905 Shelter for Hogs. *American Swineherd*. Volume 22, No. 12 (December 1905), p. 25. Available at <https://books.google.com/>; accessed October 30, 2018.
- Holmes, C. L.
1929 Types of Farming in Iowa. *Bulletin 256*. Agriculture Experiment Station, Iowa State College of Agriculture and Mechanic Arts, Ames.
- Holmes, C. L., and C. W. Crickman
1938 Types of Farming in Iowa II. *Bulletin 374*. Agriculture Experiment Station, Iowa State College of Agriculture and Mechanic Arts, Ames.
- Huebinger, M.
1894 *Atlas of Scott County, Iowa*. M. Huebinger and Co., Davenport.
- Inter-State
1882 *History of Scott County, Iowa*. Inter-State Publishing Co., Chicago.
- Iowa
1905 *Atlas of Scott County, Iowa*. Iowa Publishing Co., Davenport.
- Iowa Department of Transportation
1986 *Iowa Registered Highway Routes, 1914–1925*. Map prepared by Transportation Inventory Cartographic Section for the Iowa Department of Transportation. No place of publication specified [Ames].
- Iowa Highway Commission
1919 *Official Map, Primary Road System, State of Iowa*. Iowa Highway Commission, no place of publication [Ames, Iowa?]. No date of publication; date of 1919 from the Iowa Department of Transportation web site; electronic document, iowadot.gov/maps/digital-maps/other-maps/historical-iowa-transportation-maps/; accessed May 8, 2018.
- Iowa State College of Agriculture and Mechanic Arts
1915 *Better Iowa*. Vol. 1, No. 9 (March 8, 1915). Iowa State College of Agriculture and Mechanic Arts.
- Iowa State Historic Preservation Office
2014 Iowa Site Inventory Form Instructions. July 2014. Iowa State Historic Preservation Office, State Historical Society of Iowa, Des Moines.
2018 Lists of previously recorded properties in Princeton and rural Scott County, Iowa, in SHPO database as of February 5, 2018. Copy on file, Office of the State Archaeologist, The University of Iowa, Iowa City.
- Iowa State University Geographic Information Systems Support and Research Facility (ISUGISSRF)
2018 Iowa Geographic Map Server. Iowa State University Geographic Information Systems Support and Research Facility, Ames, Iowa. Electronic document, ortho.gis.iastate.edu, accessed February 27, 2018.
- Kendall, Bryan
2017 *Phase I Intensive Archaeological Investigation of the Proposed Anderson 400 IEDA Project, Sections 10, 11, and 14, T79N-R05E, Scott County, Iowa*. Technical Report 658. Office of the State Archaeologist, The University of Iowa, Iowa City.

- King, June K.
1909 Cote System vs. Centralized Hog House System. *Forty-first Annual Report of the Missouri State Board of Agriculture*. State of Missouri, Jefferson City, pp. 338–339. Available at <https://books.google.com/>; accessed October 30, 2018.
- Koch, B.
1907 *Schweinezucht und Schweinehaltung*. Vol. 30, Bibliothek der Gesamten Landwirtschaft. Dr. Max Jänecke, Verlagsbuchhandlung, Hannover. Electronic document, <hdl.handle.net/2027/osu.32435004632543>; accessed November 2, 2018.
- Louis, Theodore
1897 From the Farrowing Pen to the Block. *Annual No. 10*. Minnesota Farmers' Institutes, pp. 134–159. Available at <https://books.google.com/>; accessed October 30, 2018.
- McFarlane, Joe, and David Mather
2001 *Phase I Archaeological Investigation of Proposed iPCS Wireless Cellular Tower in Princeton, Iowa*. Archaeological Survey Short Report Form. Loucks Associates, Minneapolis, Minnesota. Copy on file, State Historic Preservation Office, State Historical Society of Iowa, Des Moines.
- Meyer, Eduard
1920 *Schweinezucht: Praktische Anleitung zur Rassenauswahl, Zucht, Ernährung, Haltung und Mast der Schweine*. Ninth edition. Verlagsbuchhandlung Paul Parey, Berlin. Electronic document, <hdl.handle.net/2027/uc1.31175003773655>; accessed November 2, 2018.
- National Park Service
1997 *How to Apply the National Register Criteria for Evaluation*. National Register Bulletin 15. U.S. Government Printing Office, Washington, D.C.
- Paulson, Conrad
1995 Structural Clay Tile. In Thomas J. Jester (ed.), *Twentieth Century Building Materials: History and Conservation*. The McGraw-Hill Companies, [no place of publication specified].
- Rohde, Ottomar
1892 *Rohde's Schweinezucht*. 4th edition. Verlag von Paul Parey, Berlin. Electronic document, <hdl.handle.net/2027/coo.31924003171661>; accessed November 2, 2018.
- Schmidt and Huebinger
1882 *Schmidt & Huebinger's Map of Scott County, Iowa*. No date or place of publication [1882, Davenport, Iowa?]. Reproduced 1975 by Unigraphic, Evansville, Indiana.
- Scott County Heritage Book Committee
1991 Scott County Heritage. Written by the People of Scott County, Iowa. Scott County Heritage Book Committee. Printed by Taylor Publishing Company, Dallas, Texas.
- Scott County, Iowa, Assessor
2018 Scott County, Iowa, Assessor's web site. Electronic document, www.scottcountyiowa.com/assessor/; accessed April and May 2018.
- Soike, Lowell J.
1990 *Without Right Angles: The Round Barns of Iowa*. Penfield Press, no place of publication specified [Iowa City, Iowa]. Originally published 1983 by Iowa State Historical Department, Office of Historic Preservation, no place of publication specified [Iowa City, Iowa].
- United States Bureau of the Census
1921 *Fourteenth Census of the United States Taken in the Year 1920*. Volume I, Population, 1920, Number and Distribution of Inhabitants. United States Government Printing Office, Washington, D.C.
1952 *Report of the Seventeenth Decennial Census of the United States*. Census of Population: 1950. Volume 2: Characteristics of the Population. Part 15, Iowa. United States Government Printing Office, Washington, D.C.
1982 *1980 Census of Population*. Volume I, Characteristics of the Population. Chapter A: Number of Inhabitants. Part 17: Iowa. United States Government Printing Office, Washington, D.C.
2018 2010 Census Interactive Population Search. Electronic document, www.census.gov/2010census/popmap/ipmtext.php?fl=39; accessed May 7, 2018.
- Wagner, Friedrich
1907 *Landwirtschaftliche Bauten*. Deutsches Bauhandbuch, Baukunde des Architekten. Third expanded edition. Verlag Deutsche Bauzeitung, Berlin. Electronic document, <hdl.handle.net/2027/inu.30000118620842>; accessed November 2, 2018.

Wikipedia

2018 Nebergall “Knoll Crest” Round Barn. Electronic document,
en.wikipedia.org/wiki/Nebergall_%22Knoll_Crest%22_Round_Barn; accessed November 5, 2018.

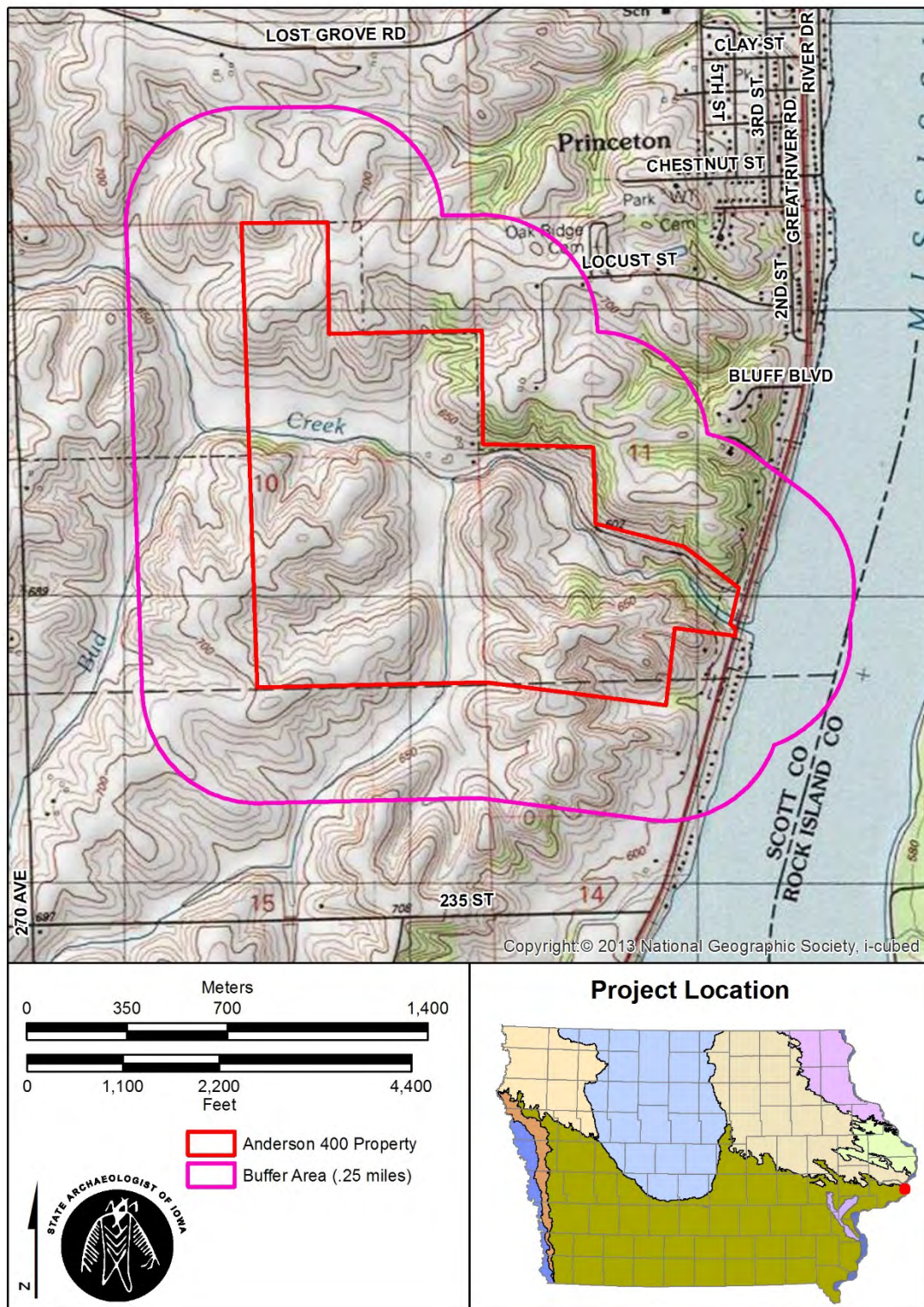


Figure 1. Project location.

Source of base map: USGS Cordova, Iowa (1991), 7.5' series quadrangle map, from ISUGISSRF 2018.

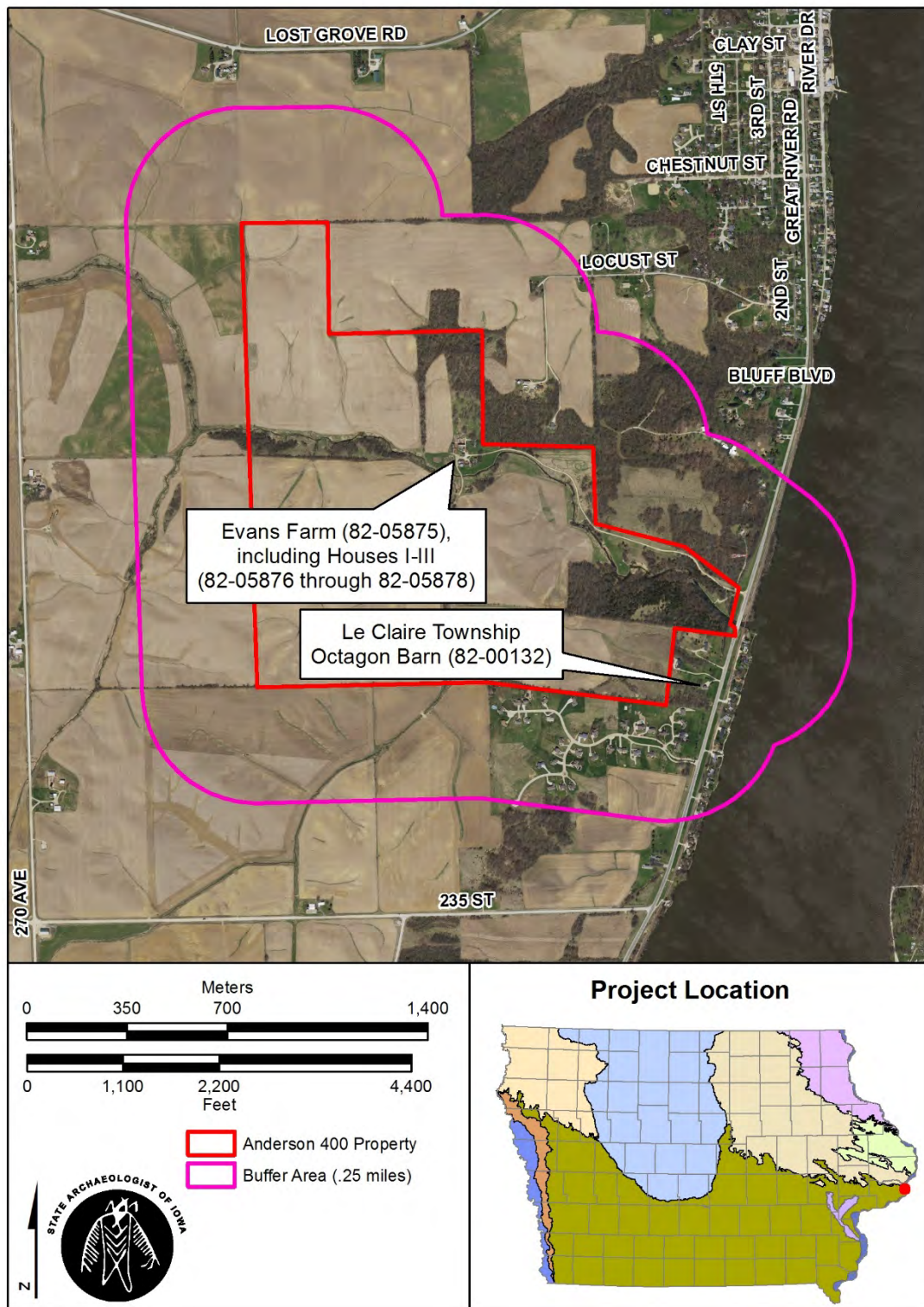


Figure 2. Project location in relation to surrounding topography.
Source of base map: 2016 aerial photograph, from ISUGISSRF 2018.



Figure 3. Reconnaissance survey area photographs: Great River Road post-World War II housing. Upper: 23800 block of Great River Road, east side, facing northeast. Lower: 23900 block of Great River Road, east side, facing south. Photographs by Richard Carlson, April 25, 2018.



Figure 4. Project area photographs: Anderson 400 property (David C. and Melissa Hopson Evans Farm, site 82-05875).

Upper: farmstead, general view, facing west-northwest. Lower: house I (site 82-05876), facing southwest. Photographs by Richard Carlson, February 22, 2018.



Figure 5. Project area photographs: Anderson 400 property (David C. and Melissa Hopson Evans Farm, site 82-05875).

Upper: house II (site 82-05877), facing northwest. Lower: house III (site 82-05878), facing southwest. Photographs by Richard Carlson, February 22, 2018.



*Figure 6. Reconnaissance survey area photographs: Le Claire Township Octagon Barn (82-00132).
Upper: house (former barn), facing northeast. Lower: house (former barn), facing northwest.
Photographs by Richard Carlson, April 25, 2018.*

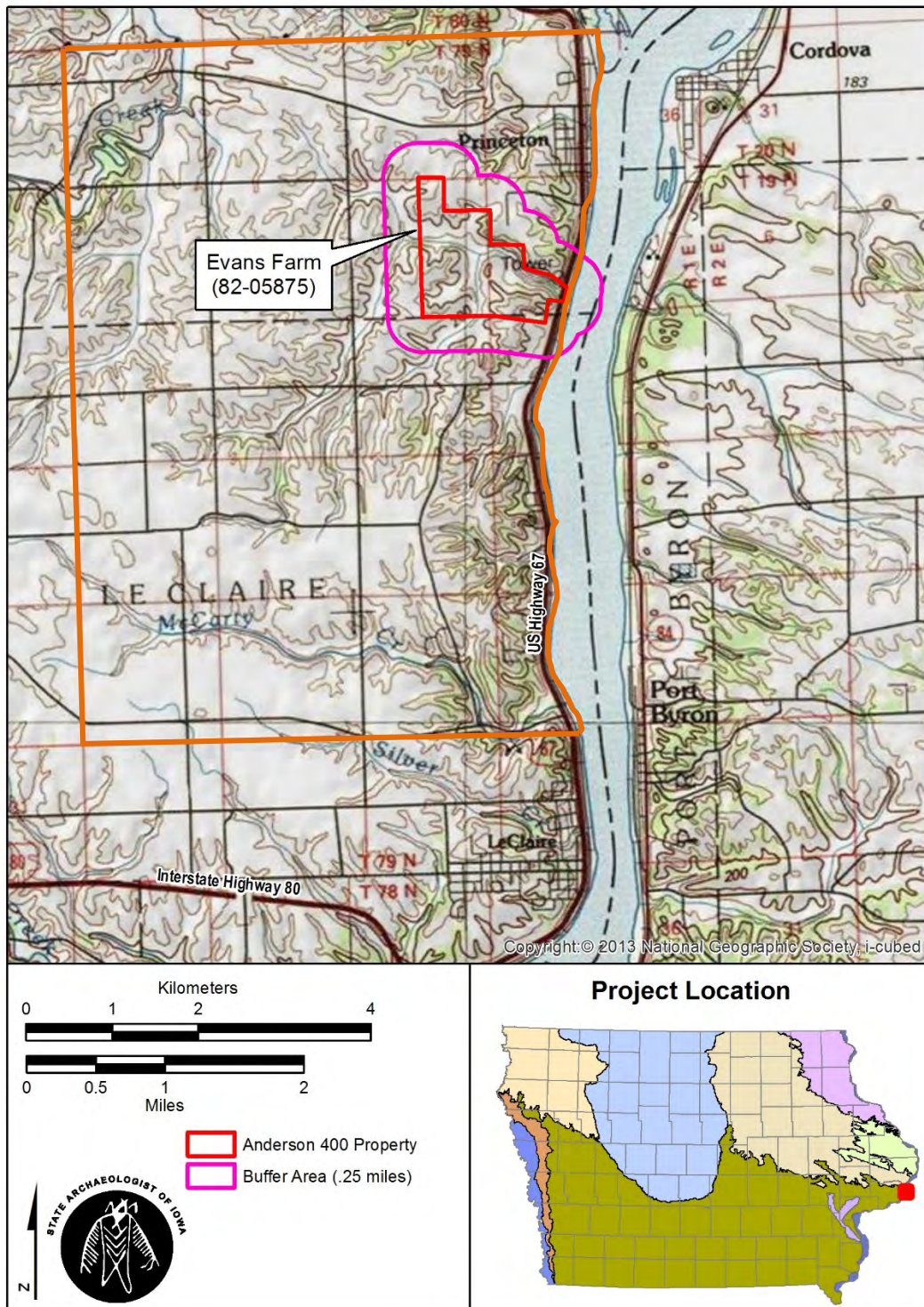


Figure 7. Map showing area (orange outline) where houses comparable to those on the Anderson 400 property were investigated.

Source of base map: USGS Cordova, Iowa (1991), 7.5' series quadrangle map, from ISUGISSRF 2018.

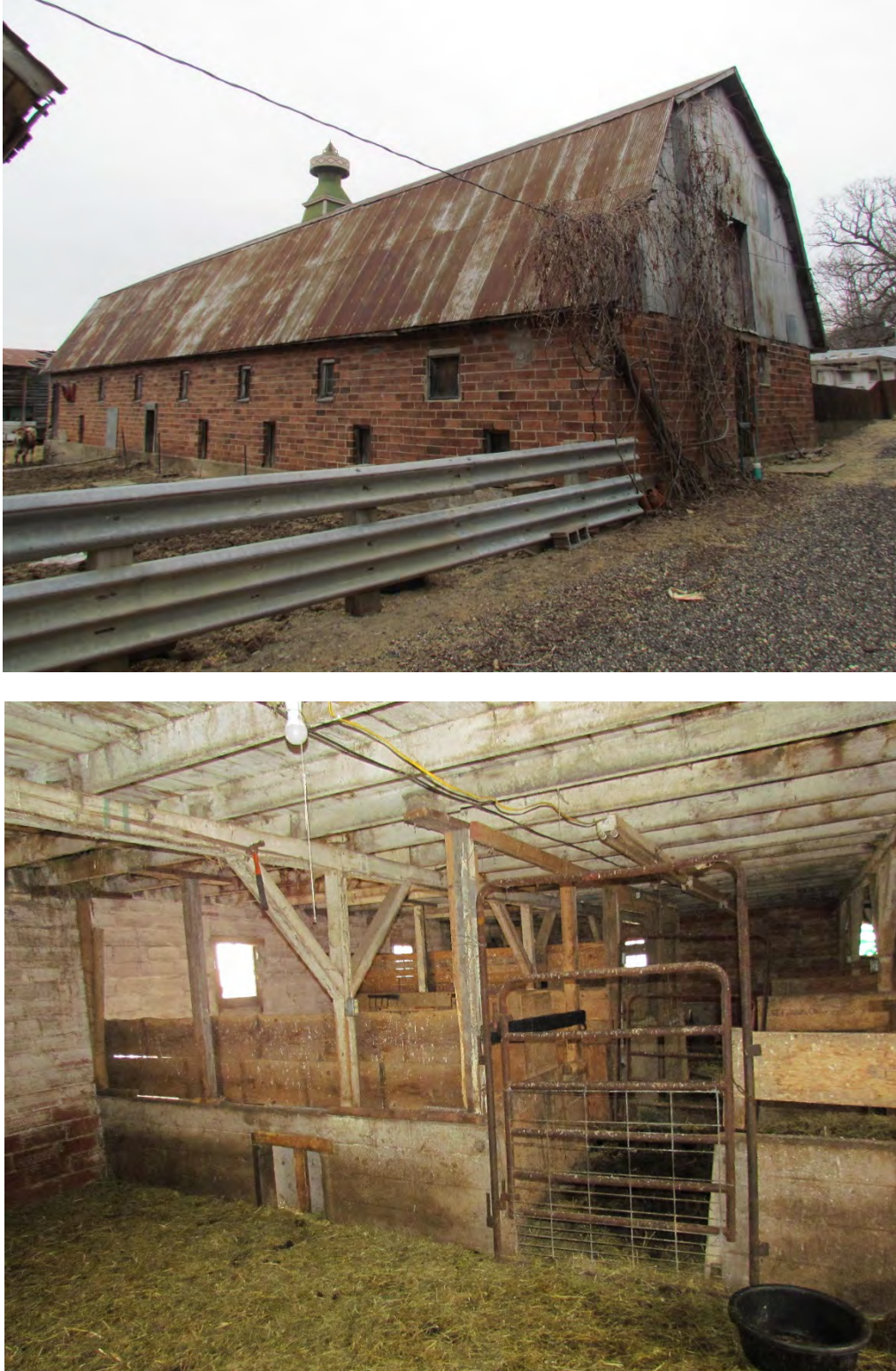


Figure 8. Project area photographs: Anderson 400 property (David C. and Melissa Hopson Evans Farm, site 82-05875).

Upper: hog house (site 82-05979), facing northwest. Lower: hog house interior, facing southwest. Photographs by Richard Carlson, February 22, 2018.

Appendix

Historical Architectural Data Base (HADB)

Document No. 82-069

Iowa Site Inventory Forms

82-05875

82-05876

82-05877

82-05878

82-05979

Historical Architectural Data Base

Data Entry Form for Studies and Reports

Doc. No.: 82-069

Source of Study: ☐ Certified Local Government Project ☐ Section 106 Review & Compliance Project
☐ Historical Resource Development Program Project ☒ Other

Project Reference #: _____

Authors/Editor/Compiler/Originator:

Carlson, Richard J.

Author Role: ☒ Consultant ☐ Private Researcher/Writer ☐ Teacher ☐ Student
☐ Project employee/volunteer ☐ Site Administrator ☐ Other: _____

Title of Work:

**Cultural Resource Identification Survey: Historic Architectural Investigation of the Proposed
Anderson 400 IEDA Project, Sections 10, 11, 14, and 15, T79N-R05E, Scott County, Iowa**

Year Issued: 2018

Type of Work Performed:

(check one only)

Survey:

- ☐ Windshield survey minimum level documentation
- ☐ Reconnaissance survey to make recommendations for intensive survey(s).
- ☐ Intensive survey
- ☒ Mixed intensive and reconnaissance survey

Plan:

- ☐ Planning for Preservation/Survey
- ☐ Community Preservation Plan

Property Study:

- | | |
|--|---|
| <input type="checkbox"/> Iowa Historic Property Documentation Study | <input type="checkbox"/> Historic Structure Report |
| <input type="checkbox"/> Historic American Building Survey (HABS) | <input type="checkbox"/> Feasibility/Re-use Study |
| <input type="checkbox"/> Historic American Engineering Record (HAER) | <input type="checkbox"/> Architectural/Engineering Plans and Specs. |
| <input type="checkbox"/> Management or Master Plan | |

National Register:

- ☐ Multiple Property Documentation Form

Other (e.g., private research, school project, video): _____

Cultural Resource Identification Survey: Historic Architectural Investigation of the Proposed Anderson 400 IEDA Project, Sections 10, 11, 14, and 15, T79N-R05E, Scott County, Iowa

82-069

Kind of Work Produced:

(fill in one section only: Report or Monograph or Chapter, etc.)

Report: Published/produced by: Iowa Office of the State Archaeologist

Place issued: Iowa City, IA

Client: Marijo Anderson

If applicable, include:

Series Title: Technical Report

Volume #: N/A Report #: 711

Monograph: Publisher Name: _____

Place: _____

Chapter: In: _____ First pg. #: _____ Last pg. #: _____

Journal: Name: _____ Vol. _____ No. _____ Pages: _____ to _____

Thesis: Degree (check one): ☐ Ph.D. ☐ LL.D. ☐ M.A. ☐ M.S. ☐ B.A. ☐ B.S.

Name of College/University: _____

Paper: Meeting: _____

Place: _____

Other: _____

Geographic Scope of Study:

☐ City/town ☒ Township(s) ☐ County ☐ Region of Iowa ☐ Statewide ☐ Other: _____

State: IA _____

County: Scott _____

Town: _____

Township: 79N _____

Range: 5E _____

Time Focus: (check any decades that receive particular attention)

☐ before 1830 ☐ 1830s ☒ 1840s ☒ 1850s ☒ 1860s ☒ 1870s ☒ 1880s ☒ 1890s

☒ 1900s ☒ 1910s ☐ 1920s ☐ 1930s ☐ 1940s ☐ 1950s ☒ 1960s ☐ 1970s ☐ 1980/later

Keyword: (Index of any subjects, topics, or people given prominent attention in the report)

Princeton Township, Scott County Hog houses, German vs. American

Scott County, early settlement Hollow clay tile block construction

Agriculture, Scott County _____

Princeton, Scott County _____

Barns, octagonal _____

Hog houses, Scott County _____

Hog houses, tile block _____

Site Inventory Form
State Historical Society of Iowa
(November 2005)

State Inventory No. 82-05979

☒ New ☐ Supplemental

☐ Part of a district with known boundaries (enter inventory no.) _____

Relationship: ☐ Contributing ☐ Noncontributing

☐ Contributes to a potential district with yet unknown boundaries

National Register Status:(any that apply) ☐ Listed ☐ De-listed ☐ NHL ☐ DOE

9-Digit SHPO Review & Compliance (R&C) Number _____

☐ Non-Extant (enter year) _____

1. Name of Property

historic name hog house on David C. and Melissa Hopson Evans Farm

other names/site number _____

2. Location

street & number 24500 and 24502 Great River Road

city or town Princeton

☒ vicinity, county Scott

Legal Description: (If Rural) Township Name

Township No.

Range No.

Section

Quarter

of Quarter

Princeton

79N

5E

10

—

—

(If Urban) Subdivision _____

Block(s) _____

Lot(s) _____

3. State/Federal Agency Certification [Skip this Section]

4. National Park Service Certification [Skip this Section]

5. Classification

Category of Property (Check only one box)

☒ building(s)

☐ district

☐ site

☐ structure

☐ object

Number of Resources within Property

If Non-Eligible Property

Enter number of:

— buildings

— sites

— structures

— objects

— Total

If Eligible Property, enter number of:

Contributing

Noncontributing

1

—

—

—

1

—

—

—

—

—

buildings

sites

structures

objects

Total

Name of related project report or multiple property study (Enter "N/A" if the property is not part of a multiple property examination).

Title

Carlson 2018, Technical Report 711

Historical Architectural Data Base Number

82-069

6. Function or Use

Historic Functions (Enter categories from instructions)

09H06 AGRICULTURE/outbuilding/hog house

Current Functions (Enter categories from instructions)

70 VACANT/NOT IN USE

7. Description

Architectural Classification (Enter categories from instructions)

09D03 OTHER/roof form/gambrel

Materials (Enter categories from instructions)

foundation

10A CONCRETE/poured

walls (visible material)

16 CLAY TILE

roof

05 METAL

other

Narrative Description (☒ SEE CONTINUATION SHEETS, WHICH MUST BE COMPLETED)

8. Statement of Significance

Applicable National Register Criteria (Mark "x" representing your opinion of eligibility after applying relevant National Register criteria)

☒ Yes ☐ No ☐ More Research Recommended

☐ Yes ☒ No ☐ More Research Recommended

☒ Yes ☐ No ☐ More Research Recommended

☐ Yes ☐ No ☐ More Research Recommended

A Property is associated with significant events.

B Property is associated with the lives of significant persons.

C Property has distinctive architectural characteristics.

D Property yields significant information in archaeology or history.

County Scott
City Princeton

Address 24500 and 24502 Great River Road

Site Number 82-05979

District Number

Criteria Considerations

- | | |
|---|---|
| <input type="checkbox"/> A Owned by a religious institution or used for religious purposes. | <input type="checkbox"/> E A reconstructed building, object, or structure. |
| <input type="checkbox"/> B Removed from its original location. | <input type="checkbox"/> F A commemorative property. |
| <input type="checkbox"/> C A birthplace or grave. | <input type="checkbox"/> G Less than 50 years of age or achieved significance within the past 50 years. |
| <input type="checkbox"/> D A cemetery | |

Areas of Significance (Enter categories from instructions)

02 ARCHITECTURE

01 ARCHITECTURE

Significant Person

(Complete if National Register Criterion B is marked above)

N/A

Significant Dates

Construction date

1914

☒ check if circa or estimated date

Other dates, including renovation

Architect/Builder

Architect

unknown

Builder

unknown

Narrative Statement of Significance (☒ SEE CONTINUATION SHEETS, WHICH MUST BE COMPLETED)

9. Major Bibliographical References

Bibliography ☒ See continuation sheet for citations of the books, articles, and other sources used in preparing this form

10. Geographic Data

UTM References (OPTIONAL)

Zone	Easting	Northing	Zone	Easting	Northing
1 <u> </u>	<u> </u>	<u> </u>	2 <u> </u>	<u> </u>	<u> </u>
3 <u> </u>	<u> </u>	<u> </u>	4 <u> </u>	<u> </u>	<u> </u>

☐ See continuation sheet for additional UTM references or comments

11. Form Prepared By

name/title Richard J. Carlson/Architectural Historian

organization Office of the State Archaeologist

street & number 700 Clinton Street Building

city or town Iowa City

state IA

date 11/7/2018

telephone 319-384-0732

zip code 52242-1030

ADDITIONAL DOCUMENTATION (Submit the following items with the completed form)

FOR ALL PROPERTIES

- Map:** showing the property's location in a town/city or township.
- Site plan:** showing position of buildings and structures on the site in relation to public road(s).
- Photographs:** representative black and white photos. If the photos are taken as part of a survey for which the Society is to be curator of the negatives or color slides, a photo/catalog sheet needs to be included with the negatives/slides and the following needs to be provided below on this particular inventory site:

Roll/slide sheet # <u>N/A</u>	Frame/slot # <u> </u>	Date Taken <u> </u>
Roll/slide sheet # <u> </u>	Frame/slot # <u> </u>	Date Taken <u> </u>
Roll/slide sheet # <u> </u>	Frame/slot # <u> </u>	Date Taken <u> </u>

☐ See continuation sheet or attached *photo & slide catalog sheet* for list of photo roll or slide entries.

☒ Photos/illustrations without negatives are also in this site inventory file.

FOR CERTAIN KINDS OF PROPERTIES, INCLUDE THE FOLLOWING AS WELL

- Farmstead & District:** (List of structures and buildings, known or estimated year built, and contributing or noncontributing status)
- Barn:**
 - A sketch of the frame/truss configuration in the form of drawing a typical middle bent of the barn.
 - A photograph of the loft showing the frame configuration along one side.
 - A sketch floor plan of the interior space arrangements along with the barn's exterior dimensions in feet.

State Historic Preservation Office (SHPO) Use Only Below This Line

Concur with above survey opinion on National Register eligibility: ☐ Yes ☐ No ☐ More Research Recommended

☐ This is a locally designated property or part of a locally designated district.

Comments:

Evaluated by (name/title): Date:

Iowa Department of Cultural Affairs
State Historical Society of Iowa
Iowa Site Inventory Form
Continuation Sheet

Site Number **82-05979**
Related District Number

Page 1

hog house on David C. and Melissa Hopson Evans Farm	Scott
Name of Property	County
24500 and 24502 Great River Road	Princeton
Address	City

7. Narrative Description

This large hog house measures 28' x 80' according to assessor's records (Figures 1–4). The hog house rests on a poured concrete foundation and is constructed of clay tile blocks. The gambrel roof and east and west gable fields are clad in corrugated metal. The decorative ventilator on the roof ridge is not original to the building, based on a ca. 1960 aerial photograph (Figures 5, 15). It was probably introduced by the present occupants of the house in the past two decades. On the long north and south sides of the building, small stock doors at the foundation level alternate with four-light windows at human eye level. Exceptions include human entry doors on the west end of the building on both the north and south sides, and changes to original fenestration, such as the replacement of the west window on the south side by a large ventilating fan. The north and south sides each have seven current or former windows and seven hog door openings, all evenly spaced along each facade. The east and west gable ends each have two window openings on the lower level, two on the mow level, and a hatch door at the mow floor level. All of the loft-level window openings have been sealed with plywood or chipboard panels or corrugated metal, but three of the four lower-level windows retain their original 4-light sash. The west facade has no other fenestration, while the east facade has a central entry door.

The interior is divided into two sections. The door on the east gable end opens into a small section that contains one pen on the north and built-in bins and a staircase to the loft level on the south (Figures 6–7). The rest of the building is divided into stock pens or storage areas placed on both sides of a central aisle (Figures 8–12). The pens appear all to be uniform in width, although the pens at the far west end of the building were not observed except from a distance. The pens are separated by low, thin concrete walls placed at ten-foot intervals. The concrete walls extend from the exterior walls to the central walkway. The walls along the walkway are slightly battered, with the gap between the walls approximately three feet at floor level but 3½ ft at the top of the walls. The partition walls—at least those near the center of the building—also have one hog-sized opening each, allowing free movement between adjoining pens. In at least one pen in the west half of the building, a concrete partition wall extends east-west along the central walkway between two adjacent north-south partition walls to provide greater separation between that pen and the surrounding areas. The partition walls are raised to differing heights by means of wooden plank walls placed atop them. The wood plank walls are typically composed of just one or two planks, but occasionally more.

The structural system is composed of 4" x 4" posts, placed at 10-ft intervals in both directions, that support 4" x 6" longitudinal beams. Knee braces are also 4" x 4", and the joists of the loft floor measure 2" x 6". In all cases, these dimensions are less-than-full. The loft level is open (Figures 13–14). The roof truss is a braced rafter truss, with 2" x 6" rafters placed on two-foot centers. The upper and lower rafters are braced by the same type of 1" x 7" tongue-in-groove boards used in the loft flooring.

Integrity. This hog house retains a moderate to high degree of period integrity from the time it was built in 1914 or early 1915. The hog house retains a high degree of integrity of *location*, since it has not been moved since it was originally built. Its integrity of *setting* is moderate. It remains on its original farmstead, but most of the buildings that surrounded it around 1960 (shown in Figure 15) are no longer standing, and a few others have been built in their place. The hog house's integrity of *design*, *materials*, and *workmanship* are all fairly high. The major changes have been the removal of most of the window sash and the sealing of the window openings with modern materials; other minor changes to the

Iowa Department of Cultural Affairs
State Historical Society of Iowa
Iowa Site Inventory Form
Continuation Sheet

Site Number **82-05979**
Related District Number

Page 2

hog house on David C. and Melissa Hopson Evans Farm	Scott
Name of Property	County
24500 and 24502 Great River Road	Princeton
Address	City

fenestration; the replacement of the original roof with a modern corrugated metal roof; the cladding of the east and west gable fields with corrugated metal; the addition of a prominent gable ridge vent in recent decades; and the construction of a modern chipboard wall on the interior near the east end of the building. Despite these changes, the overall massing, roofline, fenestration pattern, and interior divisions are essentially unchanged, and the original masonry materials—poured concrete foundation and interior partitions and hollow tile block walls—are also unchanged. The hog house does not appear to have been altered substantially on the exterior or interior since it was last used as a hog house, aside from the changes noted above, so its integrity of *feeling* and *association* also remain high.

8. Statement of Significance

This hog house was built in 1914 or early 1915 for the Kroeger family, consisting of German immigrants Marx and Anna Kroeger, and their sons Herman and Emil Kroeger. For more on the Kroeger family, see the Iowa Site Inventory Form for site 82-05875. The building was completed in either late 1914 or early 1915. According to a newspaper article on the Kroegers' farm published in February 1915:

They have just finished building a fine hog house which will accommodate 28 brood sows. It is built of hollow tile with dimensions 28 x 80 feet, has concrete partitions and floors with plenty of facilities for drainage. There is a large space above for grain bins, straw, etc. The capacity of the second floor is 60 tons of hay. This building alone cost them \$3,000 [approximately \$75,000 in 2018 dollars]. It is modeled somewhat after the best German structures of this kind [Bliss 1915:10].

At the time, the Kroegers had over 200 hogs—277 the previous season and 230 at the time the article was written. It was reported that the Kroegers vaccinated their hogs against hog cholera, with the result that they had little loss when their herd was hit. In fact, the article reported that “[w]hile many of the people in their neighborhood were hanging back on account of skepticism, the Kroegers were buying affected hogs and giving them the [cholera] treatment last year. In the spring they held a sale and got rid of a large number of brood sows at prices which ensured them fine profits” (Bliss 1915:10). In addition to the hog house, their farm also had a silo constructed of clay tile blocks, used to feed their herd of cattle.

The Kroegers were progressive farmers, and used their German connections to their advantage. They kept up with the latest agricultural practices in Germany as well as in the United States, modeling both their crop and livestock production on the best German examples when they considered the German methods to be superior. As noted above, the hog house on the property, completed in late 1914 or early 1915, was “modeled somewhat after the best German structures of this kind” (*Daily Times* 1914:2; Bliss 1915:10).

Based on the newspaper article quoted above, it appears that the primary function of the hog house was as a farrowing house. The Kroeger hog house was distinctive in several ways, although it is not clear which of its distinctive characteristics may have been modeled after German precedents. As described in greater detail in the accompanying report (Carlson 2018:13–14), this was a very early tile block hog house in Iowa. The first in Iowa was built in fall 1913. By October 1915, two years later, only ten tile block hog houses have been documented as having been constructed in the entire state, although others had reportedly been built in the Fonda area.

Iowa Department of Cultural Affairs
State Historical Society of Iowa
Iowa Site Inventory Form
Continuation Sheet

Site Number **82-05979**
Related District Number

Page 3

hog house on David C. and Melissa Hopson Evans Farm	Scott
Name of Property	County
24500 and 24502 Great River Road	Princeton
Address	City

It is likely that some additional unknown number had been built elsewhere in Iowa but not reported in any source consulted for the present report. Nonetheless, the number of tile block hog houses built in Iowa by the end of 1915 was probably less than two dozen.

Among the ten known tile block hog houses built in Iowa before October 1915, the Kroegers' hog house was distinctive. First, it was one of only two out of the ten hog houses that did not employ the Iowa Sunlit Community Hog House design popularized around 1915 by the agricultural experiment station of the Iowa State College of Agriculture and Mechanic Arts (now Iowa State University). The Iowa Sunlit Community Hog House had a gabled roof with skylights that provided sunlight to the hogs in the winter. Of the two tile block hog houses that did not follow this plan, one had a half-monitor roof that also allowed sunlight. The Kroeger hog house was unique among known tile block hog houses of the time in that it had a gambrel roof rather than a gabled or half-monitor roof, and it lacked skylights or other natural lighting from above in favor of an overhead loft for feed storage more like those seen in gambrel-roofed barns of the period.

The Kroeger hog house was also unique in its use of concrete rather than wooden partition walls to separate the pens on the interior. All pre-1916 Iowa examples for which a partition wall material is known had wooden partition walls, with the exception of two hog houses in Madison County that used iron gates instead (*Des Moines Register and Leader* 1915:9). While hog houses described in German examples of the time also focused on brick and wood partition walls, concrete walls were mentioned in one source as a possible partition wall material (Wagner 1907:427–428).

This hog house is evaluated as eligible for listing in the National Register of Historic Places (NRHP) under Criteria A and C in the areas of Agriculture and Architecture. It represents a unique example of early tile block hog house design that reflects a blend of several design trends in both the United States and Germany. United States influences likely included the use of hollow clay tile block walls and the use of a barn-like overhead loft under a gambrel roof. German influences likely included a focus on masonry construction for the exterior walls and the use of concrete partition walls between pens. Either German or American models may have influenced other aspects of the interior arrangement that were not investigated in detail during the field investigation, such as ventilation, lighting, and drainage. As described in greater detail in Carlson (2018:11–12), both American and German sources emphasized durable construction that enabled ease of cleaning and drainage for sanitary purposes, and the use of building materials that did not encourage moisture condensation, both of which are seen in this building. Despite the changes to the exterior and interior of the building described above—most of which appear to be easily reversible—the hog house retains a fairly high degree of period integrity from 1915. As one of the earliest tile block hog houses in Iowa; as an example illustrating the wide range of scientific and practical experimentation that influenced hog house design in the 1910s; and as an example of a hog house blending both American and German design influences that is located in a part of Iowa dominated historically by German immigrants, this building is evaluated as eligible for listing in the NRHP under Criteria A and C.

Iowa Department of Cultural Affairs
State Historical Society of Iowa
Iowa Site Inventory Form
Continuation Sheet

Site Number **82-05979**
Related District Number

Page 4

hog house on David C. and Melissa Hopson Evans Farm	Scott
Name of Property	County
24500 and 24502 Great River Road	Princeton
Address	City

9. Major Bibliographic References

Bliss, G. R.

1915 Profit Big on Kroeger Place. *The Daily Times* (Davenport, Iowa), February 9, 1915.

Carlson, Richard J.

2018 *Phase I Intensive Historic Architectural Investigation of the Proposed Anderson 400 IEDA Project, Section 10, T79N-R05E, Scott County, Iowa*. Technical Report 711. Third revision. Office of the State Archaeologist, The University of Iowa, Iowa City.

Daily Times (Davenport, Iowa)

1914 Says Iowans May Learn Much from German Farmers. *The Daily Times* (Davenport, Iowa), December 5, 1914.

Des Moines [Iowa] Register and Leader

1915 Iowa Farm News: Greene County People Visit Iowa State College; Exclusive Wire Markets. *The Des Moines Register and Leader*, October 27, 1915.

Wagner, Friedrich

1907 *Landwirtschaftliche Bauten*. Deutsches Bauhandbuch, Baukunde des Architekten. Third expanded edition. Verlag Deutsche Bauzeitung, Berlin. Electronic document, hdl.handle.net/2027/inu.30000118620842; accessed November 2, 2018.

Iowa Department of Cultural Affairs
State Historical Society of Iowa
Iowa Site Inventory Form
Continuation Sheet

Site Number **82-05979**
Related District Number

Page 5

hog house on David C. and Melissa Hopson Evans Farm	Scott
Name of Property	County
24500 and 24502 Great River Road	Princeton
Address	City

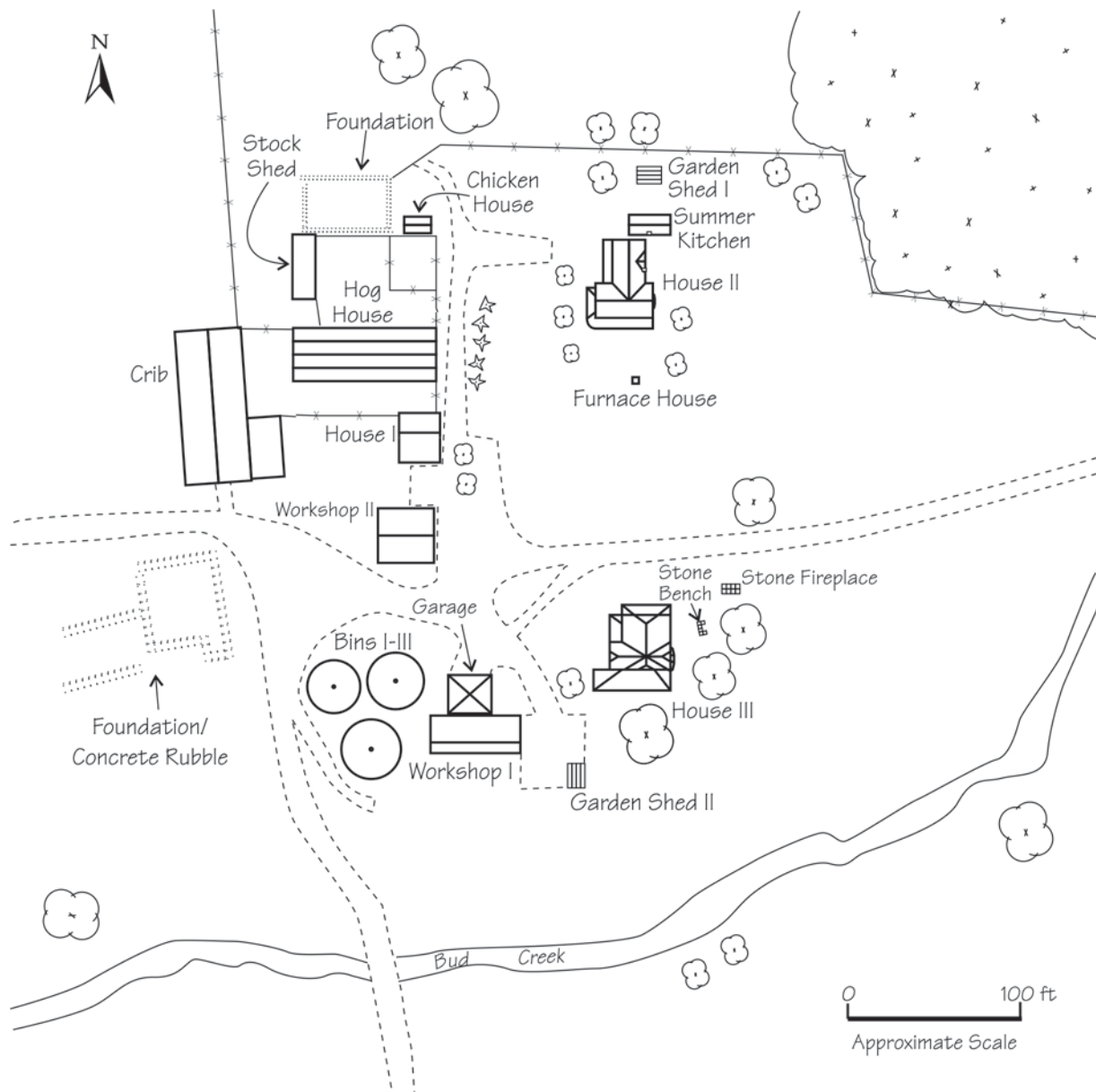


Figure 1. Site plan of David C. and Melissa Hobson Evans Farm (site 82-05875), 24500 and 24502 Great River Road, Princeton, Scott County, Iowa. The hog house is shown in the northwest quarter of the farmyard, to the west of house II.

Iowa Department of Cultural Affairs
State Historical Society of Iowa
Iowa Site Inventory Form
Continuation Sheet

Site Number **82-05979**
Related District Number

Page 6

hog house on David C. and Melissa Hopson Evans Farm	Scott
Name of Property	County
24500 and 24502 Great River Road	Princeton
Address	City



Figure 2. Hog house (site 82-05979) on David C. and Melissa Hopson Evans Farm (site 82-05875), 24500 and 24502 Great River Road, Princeton, Scott County, Iowa, facing northwest. Aside from historical photographs, all photographs in this report by Richard Carlson, February 22, 2018.

Iowa Department of Cultural Affairs
State Historical Society of Iowa
Iowa Site Inventory Form
Continuation Sheet

Site Number **82-05979**
Related District Number

Page 7

hog house on David C. and Melissa Hopson Evans Farm	Scott
Name of Property	County
24500 and 24502 Great River Road	Princeton
Address	City



Figure 3. Hog house (site 82-05979) on David C. and Melissa Hopson Evans Farm (site 82-05875), facing southwest.

Iowa Department of Cultural Affairs
State Historical Society of Iowa
Iowa Site Inventory Form
Continuation Sheet

Site Number **82-05979**
Related District Number

Page 8

hog house on David C. and Melissa Hopson Evans Farm	Scott
Name of Property	County
24500 and 24502 Great River Road	Princeton
Address	City



Figure 4. Hog house (site 82-05979) on David C. and Melissa Hopson Evans Farm (site 82-05875), facing southeast.

Iowa Department of Cultural Affairs
State Historical Society of Iowa
Iowa Site Inventory Form
Continuation Sheet

Site Number **82-05979**
Related District Number

Page 9

hog house on David C. and Melissa Hopson Evans Farm	Scott
Name of Property	County
24500 and 24502 Great River Road	Princeton
Address	City



Figure 5. Modern or antique replacement roof ventilator on hog house (site 82-05979) on David C. and Melissa Hopson Evans Farm (site 82-05875), facing northwest. As shown in Figure 15, no roof ventilators were located on this building about 1960.

Iowa Department of Cultural Affairs
State Historical Society of Iowa
Iowa Site Inventory Form
Continuation Sheet

Site Number 82-05979
Related District Number

Page 10

hog house on David C. and Melissa Hopson Evans Farm	Scott
Name of Property	County
24500 and 24502 Great River Road	Princeton
Address	City



Figure 6. Interior of hog house (site 82-05979) on David C. and Melissa Hopson Evans Farm (site 82-05875), east entry section, facing southwest. Stairs to loft level shown at left. Chipboard wall separating entry section from main section shown in background.

Iowa Department of Cultural Affairs
State Historical Society of Iowa
Iowa Site Inventory Form
Continuation Sheet

Site Number 82-05979
Related District Number

Page 11

hog house on David C. and Melissa Hopson Evans Farm	Scott
Name of Property	County
24500 and 24502 Great River Road	Princeton
Address	City



Figure 7. Interior of hog house (site 82-05979) on David C. and Melissa Hopson Evans Farm (site 82-05875), east entry section, facing northwest.

Iowa Department of Cultural Affairs
State Historical Society of Iowa
Iowa Site Inventory Form
Continuation Sheet

Site Number **82-05979**
Related District Number

Page 12

hog house on David C. and Melissa Hopson Evans Farm	Scott
Name of Property	County
24500 and 24502 Great River Road	Princeton
Address	City



Figure 8. Interior of hog house (site 82-05979) on David C. and Melissa Hopson Evans Farm (site 82-05875), facing southwest. Low concrete walls with hog doors shown on both sides of the metal gate, with wood planking above.

Iowa Department of Cultural Affairs
State Historical Society of Iowa
Iowa Site Inventory Form
Continuation Sheet

Site Number 82-05979
Related District Number

Page 13

hog house on David C. and Melissa Hopson Evans Farm	Scott
Name of Property	County
24500 and 24502 Great River Road	Princeton
Address	City



Figure 9. Interior of hog house (site 82-05979) on David C. and Melissa Hopson Evans Farm (site 82-05875), facing northwest.

Iowa Department of Cultural Affairs
State Historical Society of Iowa
Iowa Site Inventory Form
Continuation Sheet

Site Number 82-05979
Related District Number

Page 14

hog house on David C. and Melissa Hopson Evans Farm

Scott

Name of Property

County

24500 and 24502 Great River Road

Princeton

Address

City



Figure 10. Interior of hog house (site 82-05979) on David C. and Melissa Hopson Evans Farm (site 82-05875), facing southeast.

Iowa Department of Cultural Affairs
State Historical Society of Iowa
Iowa Site Inventory Form
Continuation Sheet

Site Number **82-05979**
Related District Number

Page 15

hog house on David C. and Melissa Hopson Evans Farm	Scott
Name of Property	County
24500 and 24502 Great River Road	Princeton
Address	City



Figure 11. Interior of hog house (site 82-05979) on David C. and Melissa Hopson Evans Farm (site 82-05875), facing east-northeast.

Iowa Department of Cultural Affairs
State Historical Society of Iowa
Iowa Site Inventory Form
Continuation Sheet

Site Number **82-05979**
Related District Number

Page 16

hog house on David C. and Melissa Hopson Evans Farm	Scott
Name of Property	County
24500 and 24502 Great River Road	Princeton
Address	City



Figure 12. Interior of hog house (site 82-05979) on David C. and Melissa Hopson Evans Farm (site 82-05875), facing north-northwest.

Iowa Department of Cultural Affairs
State Historical Society of Iowa
Iowa Site Inventory Form
Continuation Sheet

Site Number **82-05979**
Related District Number

Page 17

hog house on David C. and Melissa Hopson Evans Farm

Scott

Name of Property

County

24500 and 24502 Great River Road

Princeton

Address

City



Figure 13. Overhead loft, interior of hog house (site 82-05979) on David C. and Melissa Hopson Evans Farm (site 82-05875), facing west-northwest.

Iowa Department of Cultural Affairs
State Historical Society of Iowa
Iowa Site Inventory Form
Continuation Sheet

Site Number **82-05979**
Related District Number

Page 18

hog house on David C. and Melissa Hopson Evans Farm	Scott
Name of Property	County
24500 and 24502 Great River Road	Princeton
Address	City



Figure 14. Overhead loft, interior of hog house (site 82-05979) on David C. and Melissa Hopson Evans Farm (site 82-05875), facing northeast.

Iowa Department of Cultural Affairs
State Historical Society of Iowa
Iowa Site Inventory Form
Continuation Sheet

Site Number 82-05979
Related District Number

Page 19

hog house on David C. and Melissa Hopson Evans Farm	Scott
Name of Property	County
24500 and 24502 Great River Road	Princeton
Address	City



Figure 15. Upper: undated aerial photograph of the David C. and Melissa Hopson Evans Farm (site 82-05875), facing northeast. Although the photograph is undated, it was probably taken in the 1950s or early 1960s, as described in greater detail in the caption to Figure 25 in the Iowa Site Inventory Form for site 82-05875. The hog house (site 82-05979) is shown in the upper center part of the photograph. Lower: detail of hog house from same photograph.

Site Inventory Form
State Historical Society of Iowa
(November 2005)

State Inventory No. 82-05875

☒ New ☐ Supplemental

☐ Part of a district with known boundaries (enter inventory no.) _____

Relationship: ☐ Contributing ☐ Noncontributing

☐ Contributes to a potential district with yet unknown boundaries

National Register Status:(any that apply) ☐ Listed ☐ De-listed ☐ NHL ☐ DOE

9-Digit SHPO Review & Compliance (R&C) Number _____

☐ Non-Extant (enter year) _____

1. Name of Property

historic name David C. and Melissa Hopson Evans Farm

other names/site number _____

2. Location

street & number 24500 and 24502 Great River Road

city or town Princeton

☒ vicinity, county Scott

Legal Description: (If Rural) Township Name _____ Township No. _____ Range No. _____ Section _____ Quarter _____ of _____ Quarter _____

Princeton

79N

5E

10

—

—

(If Urban) Subdivision _____

Block(s) _____

Lot(s) _____

3. State/Federal Agency Certification [Skip this Section]

4. National Park Service Certification [Skip this Section]

5. Classification

Category of Property (Check only one box)

☐ building(s)

☒ district

☐ site

☐ structure

☐ object

Number of Resources within Property

If Non-Eligible Property

Enter number of:

9 buildings

— sites

10 structures

— objects

19 Total

If Eligible Property, enter number of:

Contributing Noncontributing

— buildings

— sites

— structures

— objects

— Total

Name of related project report or multiple property study (Enter "N/A" if the property is not part of a multiple property examination).

Title

Carlson 2018, Technical Report 711

Historical Architectural Data Base Number

82-069

6. Function or Use

Historic Functions (Enter categories from instructions)

09B01 AGRICULTURE/production/farmstead

Current Functions (Enter categories from instructions)

09B01 AGRICULTURE/production/farmstead

7. Description

Architectural Classification (Enter categories from instructions)

09A01 OTHER/house/front-gabled roof

09A10 OTHER/house/1-1/2 story

09A02 OTHER/house/gable-front-and-wing

Materials (Enter categories from instructions)

foundation 10A CONCRETE/poured

walls (visible material) 02A WOOD/weatherboard

roof 05 METAL

other _____

Narrative Description (☒ SEE CONTINUATION SHEETS, WHICH MUST BE COMPLETED)

8. Statement of Significance

Applicable National Register Criteria (Mark "x" representing your opinion of eligibility after applying relevant National Register criteria)

☐ Yes ☒ No ☐ More Research Recommended

☐ Yes ☒ No ☐ More Research Recommended

☐ Yes ☒ No ☐ More Research Recommended

☐ Yes ☐ No ☐ More Research Recommended

A Property is associated with significant events.

B Property is associated with the lives of significant persons.

C Property has distinctive architectural characteristics.

D Property yields significant information in archaeology or history.

County Scott
City Princeton

Address 24500 and 24502 Great River Road

Site Number 82-05875

District Number

Criteria Considerations

- | | |
|---|---|
| <input type="checkbox"/> A Owned by a religious institution or used for religious purposes. | <input type="checkbox"/> E A reconstructed building, object, or structure. |
| <input type="checkbox"/> B Removed from its original location. | <input type="checkbox"/> F A commemorative property. |
| <input type="checkbox"/> C A birthplace or grave. | <input type="checkbox"/> G Less than 50 years of age or achieved significance within the past 50 years. |
| <input type="checkbox"/> D A cemetery | |

Areas of Significance (Enter categories from instructions)

02 ARCHITECTURE

15 EXPLORATION/SETTLEMENT

Significant Dates

Construction date

1865-1980 ☒ check if circa or estimated date

Other dates, including renovation

Significant Person

(Complete if National Register Criterion B is marked above)

N/A

Architect/Builder

Architect

unknown

Builder

unknown

Narrative Statement of Significance (☒ SEE CONTINUATION SHEETS, WHICH MUST BE COMPLETED)

9. Major Bibliographical References

Bibliography ☒ See continuation sheet for citations of the books, articles, and other sources used in preparing this form

10. Geographic Data

UTM References (OPTIONAL)

Zone	Easting	Northing	Zone	Easting	Northing
1 <u> </u>	<u> </u>	<u> </u>	2 <u> </u>	<u> </u>	<u> </u>
3 <u> </u>	<u> </u>	<u> </u>	4 <u> </u>	<u> </u>	<u> </u>

☐ See continuation sheet for additional UTM references or comments

11. Form Prepared By

name/title Richard J. Carlson/Architectural Historian

organization Office of the State Archaeologist

street & number 700 Clinton Street Building

city or town Iowa City

state IA

date 2/19/2018

telephone 319-384-0732

zip code 52242-1030

ADDITIONAL DOCUMENTATION (Submit the following items with the completed form)

FOR ALL PROPERTIES

- Map:** showing the property's location in a town/city or township.
- Site plan:** showing position of buildings and structures on the site in relation to public road(s).
- Photographs:** representative black and white photos. If the photos are taken as part of a survey for which the Society is to be curator of the negatives or color slides, a photo/catalog sheet needs to be included with the negatives/slides and the following needs to be provided below on this particular inventory site:

Roll/slide sheet # <u>N/A</u>	Frame/slot # <u> </u>	Date Taken <u> </u>
Roll/slide sheet # <u> </u>	Frame/slot # <u> </u>	Date Taken <u> </u>
Roll/slide sheet # <u> </u>	Frame/slot # <u> </u>	Date Taken <u> </u>

☐ See continuation sheet or attached *photo & slide catalog sheet* for list of photo roll or slide entries.

☒ Photos/illustrations without negatives are also in this site inventory file.

FOR CERTAIN KINDS OF PROPERTIES, INCLUDE THE FOLLOWING AS WELL

- Farmstead & District:** (List of structures and buildings, known or estimated year built, and contributing or noncontributing status)
- Barn:**
 - A sketch of the frame/truss configuration in the form of drawing a typical middle bent of the barn.
 - A photograph of the loft showing the frame configuration along one side.
 - A sketch floor plan of the interior space arrangements along with the barn's exterior dimensions in feet.

State Historic Preservation Office (SHPO) Use Only Below This Line

Concur with above survey opinion on National Register eligibility: ☐ Yes ☐ No ☐ More Research Recommended

☐ This is a locally designated property or part of a locally designated district.

Comments:

Evaluated by (name/title): Date:

Iowa Department of Cultural Affairs
State Historical Society of Iowa
Iowa Site Inventory Form
Continuation Sheet

Site Number **82-05875**
Related District Number

Page 1

David C. and Melissa Hopson Evans Farm	Scott
Name of Property	County
24500 and 24502 Great River Road	Princeton
Address	City

7. Narrative Description

This property is located at 24500 and 24502 Great River Road near Princeton, Scott County, Iowa (Figures 1–4). It contains a total of three current or former houses (house I, house II, and house III), as well as numerous domestic or agricultural outbuildings and structures. The farmstead is located on hilly land along Bud Creek, more than half a mile from Great River Road (U.S. 67), which extends along the west bank of the Mississippi River.

House I. For a description and individual evaluation, see the Iowa Site Inventory Form for site 82-05876 (Figure 5).

House II. For a description and individual evaluation, see the Iowa Site Inventory Form for site 82-05877 (Figure 6).

House III. For a description and individual evaluation, see the Iowa Site Inventory Form for site 82-05878 (Figure 7).

Summer kitchen. This banked building is located immediately north of house II, and nearly adjacent to the house (Figures 8–9). It rests on a rubble stone foundation and is clad in drop siding. Its side-gabled roof is covered in corrugated metal. The only entrance is located on the south facade. Other fenestration include windows on the south and north facades and a hatch door on the east gable end. A chimney, now sealed with concrete, extends up from the gable ridge near the west end of the building. Based on its foundation and siding materials, and on photographs of house II taken ca. 1895 and ca. 1910, this building likely dates to the period between about 1895 and 1910. For these historical photographs, see Figures 7 and 8 in the Iowa Site Inventory Form for site 82-05877.

Furnace house. This small modern structure houses a wood-burning furnace. It sits on metal poles set into a poured concrete slab. Its walls and arched roof are covered in corrugated metal. This structure appears to date to approximately the 1960s or 1970s, although it may have been installed in its present location more recently.

Garden shed I. Located north of the summer kitchen, this modern garden shed sits on a foundation of stone rubble and brick (Figure 10). It is clad in vinyl siding and has a standing seam metal roof.

Garden shed II. Located near the southwest corner of house III, this modern garden shed sits on a poured concrete pad (Figure 11). It is clad in corrugated metal walls and has a gambrel roof covered in composition shingles.

Stone bench. Reportedly built in the 1930s by Ellwyn Kroeger during a period when he was laid off from working as an engineer at Maytag in Newton, Iowa, this decorative bench is located just east of house III. It is constructed of granite stones of various colors with thick convex mortar joints of reddish mortar (Figure 12). In addition to the stone back and wing walls, the bench includes a poured concrete

Iowa Department of Cultural Affairs
State Historical Society of Iowa
Iowa Site Inventory Form
Continuation Sheet

Site Number **82-05875**
Related District Number

Page 2

David C. and Melissa Hopson Evans Farm	Scott
Name of Property	County
24500 and 24502 Great River Road	Princeton
Address	City

seat and back; a built-in bookshelf in the back of the seat, its protective door now missing; and a decorative niche centered atop the back of the bench that is embellished with small multi-colored stones over its semi-circular arched roof and back face.

Stone fireplace. Reportedly constructed by Ellwyn Kroeger around the same time as the stone bench, this small fireplace and flue, like the stone bench, is located in the yard east of house III. It is constructed using the same type of granite rubble and thick mortar joints used in the bench (Figure 13). Vertically striated red brick are used in the fireplace.

Garage. This garage sits on a poured concrete foundation. Its wall construction is unusual, apparently short lengths of plank set between the studs in the walls, with the studs visible on both the interior and exterior of the garage (Figure 14). The pyramidal roof of the garage is covered in composition shingles. The north facade is completely open, forming a drive door. Two 4-light windows are located on the east facade, and two 2-light windows of the same size are located on the west facade. A garage with a similar footprint was in place in this location by 1937 (USDA 1937), but the unusual construction of the present garage makes it unclear whether the present garage is a substantial remodeling or complete replacement of the original garage. The latter is more likely, given the broad width of the garage, which suggests a construction date around the third quarter of the twentieth century.

Workshop I. This building sits on a poured concrete foundation (Figure 15). Its walls are constructed of concrete blocks except in the east gable field, which is clad in board and batten siding. Its gabled roof is covered in standing seam metal. The two principal entryways are a combination sliding and hinged door in the east gable end and a sliding door at the west end of the south facade. A row of plywood panels along the south facade under the eaves suggest that this area may once have had a row of windows. Other fenestration includes an entry door near the east end of the north facade and a window in the west gable end. Aerial photographs indicate that this workshop was built between 1937 and 1957 (USDA 1937, 1957).

Bins I–III. These three cylindrical metal grain bins rest on poured concrete pads and are constructed of corrugated metal walls and roofs (Figure 16). The two bins on the north bear the logo “Long,” presumably referring to the bin manufacturer. These two bins were constructed between 1969 and 1978 (USDA 1969, 1978). The bin on the south has no logo, and was built after 1978.

Crib. This drive-through crib is of pole construction, with round posts set in the ground forming the frame of the central drive aisle and the cribs on each side (Figure 17). The crib floors are supported by concrete blocks set atop poured concrete piers. Horizontal boards attached to the posts form the crib walls on both the exterior and drive aisle. The boards are more closely spaced towards the roof and more widely spaced or absent towards the ground. Wire mesh supplements the boards to form the walls. The gabled roof is covered in corrugated metal. Car siding fills the north and south gable fields. A shed-roofed addition on the southeast corner is open aside from the two round poles that support the roof. The crib was built between 1957 and 1963, with the shed addition on the southeast corner built between 1984 and 1994 (USDA 1957, 1963; ISUGISSRF 2018).

Iowa Department of Cultural Affairs
State Historical Society of Iowa
Iowa Site Inventory Form
Continuation Sheet

Site Number **82-05875**
Related District Number

Page 3

David C. and Melissa Hopson Evans Farm	Scott
Name of Property	County
24500 and 24502 Great River Road	Princeton
Address	City

Stock shed. This stock shed, which forms the west side of a feedlot south of a former barn, now demolished, has a poured concrete foundation and vertical plank walls (Figure 18). Its shed roof is covered in corrugated metal. The shed is open on the east, with the roof supported by what appear to be metal poles. This shed appears to date to the mid-twentieth century, although a shed in this location has been in place since at least 1937 (USDA 1937).

Chicken house. This chicken house has a poured concrete foundation, vertical car siding, and a gabled roof covered in corrugated metal (Figure 19). It has three windows and a chicken door on the south and a Dutch entry door on the east gable end. The structure has no other fenestration. It appears to date to about the 1960s or 1970s, although it was reportedly moved to its present location more recently (Anderson 2018).

Hog house. For a description and individual evaluation, see the Iowa Site Inventory Form for site 82-05878 (Figure 20).

Workshop II. This modern building was constructed around 2016 or 2017 on the foundation of a drive-through crib formerly in this location (Anderson 2018). The concrete foundation of the crib is still extant. The present building has a smooth-faced concrete block foundation, plank siding, and a gabled roof covered in composition shingles (Figure 21).

Integrity. This farmstead retains a moderate degree of period integrity from the time it functioned as a working farm in the 1960s. While most of the buildings on the property are more than 50 years old, the removal of two nineteenth century barns on the property between 2011 and 2014 has compromised the period integrity of the farmstead to the extent that it appears unlikely to be eligible for listing in the National Register of Historic Places under any criterion. The farmstead retains a high degree of integrity of *location*, since it has not been moved since it was originally established. Its integrity of *setting* also remains high. Although the buildings have changed over the years, the relationship of the extant houses and farm buildings to the surrounding fields and wooded areas has not changed substantially since at least 1937, and probably not since the farmstead was established. The farmstead's integrity of *design*, *materials*, and *workmanship* has not changed substantially since the 1960s, aside from the loss of the two barns. Because the farmstead is still used for agricultural purposes and has had few modern intrusions since the 1960s, its integrity of *feeling* and *association* also remain moderate to high, aside from the loss of the barns.

8. Statement of Significance

Only four families have owned this property since it was first patented by the United States government to a private owner in 1841. The discussion of the history and significance of the property below focuses on the first two families, the Hopson/Evans and Kroeger families, who owned the property for more than a century, from 1841 until 1944.

Iowa Department of Cultural Affairs
State Historical Society of Iowa
Iowa Site Inventory Form
Continuation Sheet

Site Number **82-05875**
Related District Number

Page 4

David C. and Melissa Hopson Evans Farm	Scott
Name of Property	County
24500 and 24502 Great River Road	Princeton
Address	City

Hopson/Evans Family

The earliest extant building on this farmstead appears to be house I, which may date to the 1860s. A farmstead on or near this site may have been established as early as the late 1830s or early 1840s by William and Rosetta Hopson. William Hopson (1800–1869) was a pioneer of Scott County, arriving in about 1838 (Inter-State 1882:1097, 1125; Iowa State Census 1856:790–791). Oddly, he is not listed in the 1840 census of Scott County. In November 1841, he patented the NE¼ of Section 10, T79N-R5E, which contained 160 acres. In 1849 he patented another 40 acres adjacent to the original patent in the NW¼, SE¼ of the same section. Also in 1841, at the same time he patented land in Section 10, he patented nearly 94 acres in Section 2, and nearly 136 acres in Section 23, both also in T79N-R5E (U.S. Bureau of Land Management 2018). The land in Sections 2 and 10 are in Princeton Township, while the land in Section 23 is in LeClaire Township.

The Hopsons appear to have lived primarily, if not exclusively, on their land on Section 23 in LeClaire Township. According to a biographical sketch of their son Thomas Hopson, published in 1882, “Mr. [William] Hopson came to Iowa and located on the place where the subject of this sketch now resides [in Section 23], made a farm where he resided until he died, in 1868 [sic]” (Inter-State 1882:1125). Census records appear to bear this out. William Hopson does not appear to be listed in the 1840 census of Scott County. The first Iowa census in which he has been located in the 1847 Iowa state census for Scott County. This census does not identify townships or other county divisions, but of the six people listed closest to Hopson in the census—three before him and three after—five at some point either patented land in Section 23 or shared a surname with someone who patented land in Section 23 (Iowa State Census 1847; U.S. Bureau of Land Management 2018). From 1856 through 1870, federal and state census records consistently list William Hopson (and later his widow Rosetta) as living in LeClaire Township, not Princeton Township (Iowa State Census 1856:790–791; U.S. Bureau of the Census 1860:86, 1870b:14).

The one exception to this general rule appears to have been a brief period around 1850, when the Hopsons may have lived on their land in Section 10, Princeton Township. Both the 1850 U.S. census and the 1851 Iowa state census, like the 1847 state census, do not divide Scott County into townships. In both the 1850 and 1851 censuses, however, William Hopson’s family was listed adjacent to the families of two men known to have patented land in Section 10, or in one case a likely relative of that man. These were Samuel Stopher, listed in both the 1850 and 1851 census, and John B. Parcell, who was listed in 1850 only, but who was likely related to Stephen Parcell, who was listed next to Hopson in 1851. They were also listed near to other families known to have lived or patented land near Princeton (U.S. Bureau of the Census 1850:234; Iowa State Census 1851; U.S. Bureau of Land Management 2018). It is more likely that the Hopson family lived briefly on their land in Section 10 around 1850 than that they were recorded in two censuses taken a year apart adjacent to residents of Section 10 rather than Section 23.

Because of the uncertainty of William Hopson’s location in 1850, it is unclear when the first house on the Hopsons’ land in Section 10 was built. However, since the Hopsons lived primarily in LeClaire Township, it appears unlikely that William Hopson had any particular need to develop the land in Section 10 until his children began marrying in the late 1850s and 1860s. It is not clear whether any of his children lived on Section 10 during William Hopson’s lifetime. In his last will and testament, dated 1867, William Hopson bequeathed his 200 acres in Section 10 to four of his children: George L. Hopson, Willis Hopson, Mrs. Mary Ann Scott (who by 1876 had married James Cooper and was known as Mrs.

Iowa Department of Cultural Affairs
State Historical Society of Iowa
Iowa Site Inventory Form
Continuation Sheet

Site Number **82-05875**
Related District Number

Page 5

David C. and Melissa Hopson Evans Farm	Scott
Name of Property	County
24500 and 24502 Great River Road	Princeton
Address	City

Mary Ann Cooper), and Mrs. Melissa Evans (Scott County, Iowa, Probate Records, Book 10:16–20; Scott County, Iowa, Recorder’s Office, Deed Record Lands 46:181–185). The will directed the 200 acres “to be divided among the above named heirs as equally as may be and as they may agree” (Scott County, Iowa, Probate Records, Book 10:17–18).

When the land was legally divided into four parcels in 1876, the four heirs received equal shares of 50 acres each (Scott County, Iowa, Auditor’s Office, Description Book 3:82; Scott County, Iowa, Recorder’s Office, Deed Record Lands, Book 46:181–185). Since each of the four parcels contained 50 acres, and the four parcels, by the terms of William Hopson’s will, were considered essentially equal in value at the time the property was divided in 1876, then it appears likely that either all four parcels had a farmstead in 1876 or none did.

Based on the 1870 census and 1882 landowner map, it is most likely that at least three of the four parcels had a farmstead by the 1870s. At the time of the 1870 census, Willis Hopson and David and Melissa Evans were listed in adjacent households in Princeton Township, almost certainly on the land they were bequeathed in William Hopson’s will (U.S. Bureau of the Census:18; Schmidt and Huebinger 1882:18). Their neighbors in the census included Frederic Yohn (Section 11), Adam McCoy (Section 4), and Jeremiah Hubbard (Section 3), all of whom are shown on the 1860 or 1882 landowner maps as living within about a mile of the Evans farmstead (Hodge 1860; Schmidt and Huebinger 1882:18). The 1882 landowner map shows a house on three of the four parcels created in 1876 on the Hopsons’ land in Section 10. Only Mary Ann Cooper’s land lacked a house in Section 10, although she owned another 80 acres in Section 11 adjacent to her Section 10 land, and a house was located on that parcel.

The Evans farmstead was not one of the most prosperous farmsteads in the area in 1870, and it was among the smallest, but it was about average in value per acre. The 1870 agricultural census records that the Evans farm had 50 acres valued at \$2,000, or \$40 per acre. For comparison, the acreages and land values of the other 38 farmers recorded on the same page of the census were investigated (U.S. Bureau of the Census 1870a:4). All but three of these farms were larger than the Evans farm, with 60 or more acres. Ten of these farms had no cash value recorded, and two others had cash values that resulted in a calculated value per improved acre of \$5.00 or less. In these cases, it appears that either the number of improved acres or the cash value of the farm were recorded incorrectly. These 12 farms were eliminated from the calculation, since all other farms ranged in value from \$30 to \$100 per improved acre. At \$40 per acre, the Evans farm ranked near the middle of the comparison farms, since the median value per acre was \$41.67. On the other hand, Willis Hopson’s farm was valued at only \$30 per improved acre, last among the comparison farms, since his farm was valued at only \$1,500.

In 1870, both the Evans farm and Willis Hopson’s farm had only improved acreage, with no woodland or other unimproved acreage on their 50-acre parcels. At the time of the 1880 agricultural census, the improved acreage on the Evans farm was specified as 20 acres of tilled land and 30 acres in the category “Permanent meadows, permanent pastures, orchards, vineyards,” of which seven acres contained a 300-tree apple orchard (U.S. Bureau of the Census 1880a:2). The prosperity of the Evans family can be seen in the increase in their livestock and crop production between 1870 and 1880 (or more accurately, 1869 and 1879, the years for which data was recorded in the census the following year). During that decade, the number of milch cows on the Evans farm increased from two to five; other cows from three to twelve; and swine from three to 29. In 1869, the farm grew 200 bushels of spring wheat, 300 bushels of Indian corn, and 150 bushels of oats. By 1879, the entire 20 acres of tilled ground was planted exclusively in Indian corn, which produced 1,200 bushels.

Iowa Department of Cultural Affairs
State Historical Society of Iowa
Iowa Site Inventory Form
Continuation Sheet

Site Number **82-05875**
Related District Number

Page 6

David C. and Melissa Hopson Evans Farm	Scott
Name of Property	County
24500 and 24502 Great River Road	Princeton
Address	City

A house was certainly located on the Evans farm by 1882, based on the landowner map of that year, and almost certainly by 1870, when the Evans family appears to have been living here based on their census entries. Whether the house they occupied in 1870 was the same as the present house I cannot be determined with certainty based on the available evidence. However, it appears likely that house I is the oldest of the three houses on this farmstead. Its stylistic features are consistent with a construction date in the 1860s, which suggests that it may have been built for David and Melissa Evans after their marriage in December 1865 (Ancestry 2014). Only one house, probably house I, is shown on the 1882 landowner map, but by 1894, two houses are shown (Huebinger Survey and Map 1894:43). The two houses were most likely house I and house II, with the latter built in the 1880s as a larger replacement house for house I.

Stylistically, house II appears to date to the 1870s or early 1880s. The earliest available photograph of the house, taken around 1895, shows that the house was never architecturally elaborate, but what stylistic features it possessed at that time were most characteristic of the 1870s or early 1880s. These features include 2/2-light windows, a three-sided bay window, and decorative jigsaw-cut work on the small front porch, which was later replaced by the present wraparound porch. Stylistically the house is unlikely to have been built after 1889, when the Evans family sold the property, since the Queen Anne style had come to dominate domestic architecture by that time. For these reasons, it appears most likely that both house I and house II were built for the Evans family. The historic name given to this property is therefore the David C. and Melissa Hopson Evans Farm.

David Evans, an immigrant from Wales, and his wife Melissa worked as farmers and lived in this house with their two young children, Rosetta and Albert, both of whom were born in the late 1860s. The Evans family were still residents of Scott County, Iowa, at the time they sold the property to Marx Kroeger in 1889 (Scott County, Iowa, Recorder's Office, Deed Record Lands, Book 52:286). By 1900, they were living in Sheridan County, Wyoming, where they also farmed (U.S. Bureau of the Census 1900:2B).

Kroeger Family

Marx Kroeger (occasionally spelled Kröger in public records), who bought this parcel from the Evans family in 1889, was a German immigrant who had lived in Scott County since his arrival from Germany in 1871. According to a biographical sketch of his grandson Ellwyn Kroeger, published in 1952:

His paternal grandfather, Marx Kroeger, was born near Hamburg, Germany, which is in the province of Schleswig-Holstein, and was a farmer there before coming to America and settling in Scott County in 1871. He married Anna Ahmeling, who was also a native of Germany [Lewis Historical 1952:526].

Marx Kroeger and Anna Ahmeling probably married in about 1875; their eldest known child, Mary, was four years old at the time of the 1880 census (U.S. Bureau of the Census 1880b:10). On the 1882 landowner map of Princeton Township, Marx Kroeger is shown as owning approximately 120 acres along the south edge of Section 10, adjacent to the Evans property. By 1894, the Kroegers owned 220 acres in the southeast corner of Section 10, and by 1905, that had been increased to 310 acres, mostly in Section 10, but also including 40 acres in

Iowa Department of Cultural Affairs
State Historical Society of Iowa
Iowa Site Inventory Form
Continuation Sheet

Site Number **82-05875**
Related District Number

Page 7

David C. and Melissa Hopson Evans Farm	Scott
Name of Property	County
24500 and 24502 Great River Road	Princeton
Address	City

Section 11 (Huebinger Survey and Map 1894:43; Iowa 1905:19). This made Marx Kroeger the fifth largest landowner in Princeton Township in 1905, although most large landholdings were located in the north part of the township.

The Kroeger family specialized in cattle and hog production. In 1908, it was reported that they had just added 27 head of steer to the 80 cattle they already owned on their farm southwest of Princeton (*Davenport Democrat and Leader* 1908:3). A newspaper article on the Kroeger farm published in 1915 reported that they typically had over 100 cattle and between 200 and 300 hogs (Bliss 1915:10). The Kroegers were progressive farmers, and used their German connections to their advantage. They kept up with the latest agricultural practices in Germany as well as in the United States, modeling both their crop and livestock production on the best German examples when they considered the German methods to be superior. As noted above, the hog house on the property, completed in late 1914 or early 1915, was “modeled somewhat after the best German structures of this kind” (*Daily Times* 1914:2; Bliss 1915:10).

It was under Marx and Anna Kroegers’ ownership that the third house on the property, house III, was built. Based on the rock-faced concrete block foundation, narrow clapboard siding, clipped gables, and shallow bay windows, it appears to date to the period between about 1905 and 1915. The 1894 and 1905 landowner maps both show two houses on this property, located almost adjacent to each other. These were probably house I and house II, since house III is unlikely to have been built until after 1905. In particular, the rock-faced concrete block foundation under house III almost certainly post-dates 1894, and likely post-dates 1905, since concrete block manufacturing technology did not become popular until the first few years of the twentieth century (Simpson 1989:108–110). It is likely that house I ceased to be used as a residence after house III was built.

The two later houses, house II and house III, were apparently occupied by the families of Marx Kroeger and his eldest son, Herman Kroeger, but it is not clear which family occupied which house. In the 1905 census, Marx and Anna Kroeger were living in Princeton Township, while Herman, his wife Clarissa, and their “Babie” (presumably their daughter Edith) were living in LeClaire. By 1910, Marx Kroeger and Herman Kroeger were listed in the census in adjacent households in Princeton Township (Iowa State Census 1905; U.S. Bureau of the Census 1910:6A). This suggests that the second house was built between 1905 and 1910 for one of the two Kroeger families. Both families had five members in 1910, so either could have occupied the smaller but newer house. The only direct statement discovered during the research for the present report indicates that Herman Kroeger’s family occupied the older house (house II), at least in 1928. A 1928 newspaper article describing the effects of a violent storm on the Kroeger farmstead states that the house of Emil Kroeger, Herman Kroeger’s brother, was located 250 feet south of his brother’s house (*Davenport Democrat and Leader* 1928:19). This also appears to be consistent with the farm layout, as shown in historical photographs, which indicate that house II was closer to the nearest barn—where the silo was most likely located—than house III was (Figure 22; see also Figure 7 in the Iowa Site Inventory Form for house II, site 82-05877).

On the other hand, when Herman and Emil Kroeger divided their parents’ land between them in 1931, a year after the death of their mother Anna, Herman Kroeger acquired the southeast quarter of Section 10 (and house III), while Emil received most of the northeast quarter (including house II) (Scott County, Iowa, Recorder’s Office, Land Quit Claim Record Book 70:360, 361;

Iowa Department of Cultural Affairs
State Historical Society of Iowa
Iowa Site Inventory Form
Continuation Sheet

Site Number **82-05875**
Related District Number

Page 8

David C. and Melissa Hopson Evans Farm	Scott
Name of Property	County
24500 and 24502 Great River Road	Princeton
Address	City

Land Deed Record Book 85:273, 274). Furthermore, when Herman's son Ellwyn built the stone fireplace and bench on the property in the 1930s, he built them outside of house III rather than house II. Finally, Ellwyn Kroeger's son Neill Kroeger has stated that his grandfather lived in house III (Kroeger 2018). It is not clear whether the 1928 newspaper account was in error, or whether the two brothers switched houses after dividing their parents' land in 1931.

In any case, whichever house each brother occupied, it is clear from census records and other accounts that both Herman and Emil Kroeger lived on this farmstead with their families for most or all of their lives before selling their property in 1944. Emil Kroeger appears to have lived on the farm continually, while Herman Kroeger spent a few years in LeClaire Township after his marriage. According to the same 1952 biographical sketch of Herman Kroeger's son Ellwyn quoted above:

Herman Kroeger, was born in Princeton Township, Scott County, on October 29, 1879, and received his education in Princeton schools. From 1895 until 1902, he worked on a farm with his father, and in the latter year became owner and operator of a dairy farm near Le Claire. This dairy farm he managed independently until 1907, when he became owner and operator of a large farm in Scott County [the location of this farm has not been identified, but since Herman had evidently returned to live next to his parents by 1910, it was most likely in the vicinity of his parents' farm]. He was for many years a member of the board of education, and its president for several terms; also a member of the board of trustees of Princeton Township. Always interested in aiding in civic programs, he was a member of the Scott County Liberty Loan drive in World War I. He was a member of the Scott County Farm Bureau, a charter member of the original Scott County Farm Improvement League, and a member of the research committee of Iowa State College. He was also president of Community Hall in Princeton. Mr. Herman Kroeger still resides in the locality where he has made his lifelong home, but is retired from farming and has sold his acreage. He is a member of Snow Lodge No. 44, Ancient Free and Accepted Masons, and is a Democrat in his politics.

Herman Kroeger married, on April 15, 1902, Clarise Wilson, and they became the parents of three children: Ellwyn Clause, of whom further; Edith, who married DeWitt Bragunia; and Elaine, who married Orville Stewart [Lewis Historical 1952:526].

Emil Kroeger was involved in Republican Party politics in Scott County in the 1920s. In 1922, he was one of three Republicans elected to the County Board of Supervisors, although one newspaper account mistakenly reported that Herman rather than Emil Kroeger was elected (*Davenport Democrat and Leader* 1922:1, 1923:9, 1924:15).

At least two of the extant buildings on the farmstead were built during the period of ownership of the Kroegers. One was house III, and the other was the large tile block hog house, built in 1914 or early 1915. In addition, this period saw the construction of two small but architecturally interesting structures on the farm: the stone bench and stone fireplace built in the yard east of house III by Ellwyn Kroeger.

Although Herman's son Ellwyn Kroeger never owned this property, he grew up on the farm. Ellwyn Kroeger attended local schools and Clinton High School, then attended Iowa State College (now Iowa State University) in Ames, graduating in 1929 with a Bachelor of Science in

Iowa Department of Cultural Affairs
State Historical Society of Iowa
Iowa Site Inventory Form
Continuation Sheet

Site Number **82-05875**
Related District Number

Page 9

David C. and Melissa Hopson Evans Farm	Scott
Name of Property	County
24500 and 24502 Great River Road	Princeton
Address	City

chemical engineering. According to his 1952 biographical sketch, “[f]or sixteen years thereafter, Mr. Kroeger was employed by the Maytag Company, manufacturer of washing machines, in the capacity of chief engineer at the plant in Newton” (Lewis Historical 1952:526). He did not work at the Maytag plant continuously during these 16 years, however, since he was evidently laid off for at least a short period during the Great Depression of the 1930s. Photographs in the possession of the current owner of the property show the stone fireplace and bench, with a handwritten label “Fireplace and lawn bench built by Ellwyn during lay-off at Maytags” (Figure 23). After leaving Maytag around 1945, Ellwyn Kroeger returned to LeClaire to found a manufacturing company. By the time he returned to Scott County, his father and uncle had already sold the old family farm on Section 10.

Adams Family

In June 1944, Herman and Emil Kroeger sold their land in Section 10 (and Section 11) to David Kenneth Adams, known as Kenneth, and his wife Esther B. Adams (Scott County, Iowa, Recorder’s Office, Land Deed Record Book 85:273, 274). Little was discovered about the Adamses in the research for the present site form. At the time of the 1940 census, they were farmers in their early forties living in Rock Island County, Illinois (U.S. Bureau of the Census 1940: 1B). By the time they bought the Kroegers’ land in 1944, they were identified in the deed as residents of Scott County, Iowa.

The Adamses built at least two of the larger extant buildings on this farmstead: the workshop, probably in the 1940s or 1950s, and the crib around 1960. They may also have built other of the smaller mid-twentieth century buildings on the farmstead, both extant and non-extant, but exact dates of construction for these buildings could not be determined during the research for the present report.

The Adamses and their heirs owned the farmstead of interest here until 1970, when they sold it to Harold and Margaret Anderson (Anderson 2018). For reasons that are unclear, the deed was not recorded until 1996 (Scott County, Iowa, Auditor’s Office, Transfer Book 8-A:386). The present owner of the property is the Anderson Family Trust.

National Register of Historic Places Eligibility Evaluation

This farmstead retains only a moderate degree of period integrity from the time it functioned as a working farm in the 1960s. While most of the buildings on the property are more than 50 years old, the removal of the two barns on the property between 2011 and 2014 was a significant loss, which has compromised the period integrity of the farmstead to the extent that it is evaluated as not eligible for listing in the National Register of Historic Places (NRHP) under any criterion.

While the construction dates of the barns are not known, the northern barn appears to have been constructed of heavy timbers, some of which are still evident on the site, suggesting a construction date in the nineteenth century. The south barn has been removed more completely, but a ca. 1960 aerial photograph of the farm (Figure 22) shows the oldest gable-roofed section of this barn with two ventilation cupolas of a type that was most popular in the 1870s and 1880s. The oldest sections of both barns most likely dated to the period between about 1850 and 1880, and these barns, with their later additions, would

Iowa Department of Cultural Affairs
State Historical Society of Iowa
Iowa Site Inventory Form
Continuation Sheet

Site Number **82-05875**
Related District Number

Page 10

David C. and Melissa Hopson Evans Farm	Scott
Name of Property	County
24500 and 24502 Great River Road	Princeton
Address	City

have been integral to the farmstead throughout its history as a working farm. Because the loss of the barns has substantially compromised the period integrity of the farmstead, the farmstead as a whole is evaluated as not eligible for listing in the NRHP.

Similarly, the individual buildings on the farmstead—with the exception of the hog house (site 82-05979)—are evaluated as not individually eligible for NRHP listing. The three houses on the property are evaluated individually in their own site forms, as sites numbered 82-05876 through 82-05878. Most other buildings on the property are more than 50 years old, but are representative examples of common building types. The most notable besides the hog house is the summer kitchen, dating to around 1900. The summer kitchen retain a fairly high degree of period integrity. While it would certainly be a contributing resource in a farmstead historic district, no evidence uncovered during the research for the present report suggests that the summer kitchen possesses the historical or architectural importance required to be individually eligible for NRHP listing. The modern buildings and structures on the property are also representative examples of common types, such as metal grain bins and garden sheds, and do not possess the exceptional importance required to meet Criteria Consideration G for modern properties. For these reasons, the farmstead as a whole, and the individual buildings and structures on it—with the exception of the hog house—are evaluated as not eligible for listing in the NRHP under Criterion A, B, or C, or Criteria Considerations A through G. As described in greater detail in the Iowa Site Inventory Form for site 82-05979, the hog house is evaluated as eligible for listing in the NRHP under Criteria A and C in the areas of Architecture and Agriculture.

9. Major Bibliographic References

Ancestry

- 2014 Iowa, Select Marriages Index, 1758-1996. Online database, accessed February 20, 2018.
Ancestry.com Operations, Inc., Provo, Utah.

Anderson, Paul

- 2018 Telephone interview with Richard Carlson, Architectural Historian, Office of the State Archaeologist, The University of Iowa, February 28, 2018.

Bliss, G. R.

- 1915 Profit Big on Kroeger Place. *The Daily Times* (Davenport, Iowa), February 9, 1915.

Carlson, Richard J.

- 2018 *Phase I Intensive Historic Architectural Investigation of the Proposed Anderson 400 IEDA Project, Section 10, T79N-R05E, Scott County, Iowa*. Technical Report 711. Third revision. Office of the State Archaeologist, The University of Iowa, Iowa City.

Daily Times (Davenport, Iowa)

- 1914 Says Iowans May Learn Much from German Farmers. *The Daily Times* (Davenport, Iowa), December 5, 1914.

Davenport Democrat and Leader (Davenport, Iowa)

- 1922 G. O. P. County Ticket Sweeps in, Brookhart Wins by 2,253 Votes. *The Davenport Democrat and Leader*, November 8, 1922.
1923 Eight Days for the 1923 Fair August 11–18. *The Davenport Democrat and Leader*, February 14, 1923.

Iowa Department of Cultural Affairs
 State Historical Society of Iowa
Iowa Site Inventory Form
Continuation Sheet

Site Number **82-05875**
 Related District Number

Page 11

David C. and Melissa Hopson Evans Farm	Scott
Name of Property	County
24500 and 24502 Great River Road	Princeton
Address	City

1924 Marti Makes Few Changes in Committees. *The Davenport Democrat and Leader*, January 3, 1924.

1928 Kroeger Family Narrowly Escape Death When Storm Topples Silo Onto House. *The Davenport Democrat and Leader*, August 21, 1928.

Hodge, A.

1860 *Map of Scott County, Iowa*. E. W. Brady & John Hale, Iowa.

Huebinger Survey and Map

1894 *Atlas of Scott County, Iowa*. Huebinger Survey and Map Publishing Co., Davenport, Iowa.

Inter-State

1882 *History of Scott County, Iowa*. Inter-State Publishing Co., Chicago.

Iowa

1905 *Atlas of Scott County, Iowa*. The Iowa Publishing Co., Davenport, Iowa.

Iowa State Census

1847 Iowa State Census, Scott County (Wm. Hopson entry).

1851 Iowa State Census, Scott County (William Hopson entry).

1856 Iowa State Census, Scott County, LeClaire Township (Wm. Hopson entry).

1905 Iowa State Census, Scott County, Princeton Township (Marx Kroeger entry).

Iowa State University Geographic Information Systems Support and Research Facility (ISUGISSRF)

2018 Iowa Geographic Map Server. Iowa State University Geographic Information Systems Support and Research Facility, Ames, Iowa. Electronic document, ortho.gis.iastate.edu, accessed February 2018.

Kroeger, Neill

2018 Telephone interview with Richard Carlson, Architectural Historian, Office of the State Archaeologist, The University of Iowa, February 28, 2018.

Lewis Historical

1952 *The Story of Iowa: The Progress of an American State*. Volume 3: Family and Personal History. Lewis Historical Publishing Co., New York.

Schmidt and Huebinger

1882 *Schmidt & Huebinger's Map of Scott County, Iowa*. Schmidt and Huebinger, Davenport, Iowa. Reproduction by Unigraphic, Inc., Evansville, Indiana, 1975.

Simpson, Pamela H.

1989 Cheap, Quick, and Easy: The Early History of Rockfaced Concrete Block Building. In Thomas Carter and Bernard L. Herman (editors), *Perspectives in Vernacular Architecture*, Volume 3, The Curators of the University of Missouri Press, Columbia, Missouri.

United States Bureau of the Census

1850 United States Census, Population Schedules. Iowa, Scott County, District No. 4 (William Hopson entry).

1860 United States Census, Population Schedules. Iowa, Scott County, LeClaire Township (Wm. Hopson entry).

1870a United States Census, Agricultural Schedules. Iowa, Scott County, Princeton Township (David Evans and Willis Hopson entries).

1870b United States Census, Population Schedules. Iowa, Scott County, LeClaire Township (Rosetta Hopson entry).

Iowa Department of Cultural Affairs
State Historical Society of Iowa
Iowa Site Inventory Form
Continuation Sheet

Site Number **82-05875**
Related District Number

Page 12

David C. and Melissa Hopson Evans Farm	Scott
Name of Property	County
24500 and 24502 Great River Road	Princeton
Address	City

1870c United States Census, Population Schedules. Iowa, Scott County, Princeton Township (David C. Evans entry).

1880a United States Census, Agricultural Schedules. Iowa, Scott County, Princeton Township, Enumeration District 257 (David C. Evans entry).

1880b United States Census, Population Schedules. Iowa, Scott County, Princeton Township, Enumeration District 257 (Marx "Kreger" entry).

1900 United States Census, Population Schedules. Wyoming, Sheridan County, Sheridan Precinct, Enumeration District 49, dwelling 42, family 43 (David C. Evans entry).

1910 United States Census, Population Schedules. Iowa, Scott County, Princeton Township, Enumeration District 158 (Marx Kroeger entry).

1940 United States Census, Population Schedules. Illinois, Rock Island County, Zuma Township, Enumeration District 81-104, household 17 (Kenneth Adams entry).

United States Bureau of Land Management

2018 General Land Office Records. Database maintained by the United States Department of the Interior, Bureau of Land Management. Available at <https://glorerecords.blm.gov/search>; accessed February 2018.

United States Department of Agriculture

1937 Aerial photographs, TA-4-342 through TA-4-344, Princeton Township, Scott County, Iowa. On file, Map Library, The University of Iowa, Iowa City.

1957 Aerial photographs, TA-9R-72 through TA-9R-74, Princeton Township, Scott County, Iowa. On file, Map Library, The University of Iowa, Iowa City.

1963 Aerial photographs, TA-1DD-136 through TA-1DD-139, Princeton Township, Scott County, Iowa. On file, Map Library, The University of Iowa, Iowa City.

1969 Aerial photographs, TA-2KK-121 through TA-2KK-124, Princeton Township, Scott County, Iowa. On file, Map Library, The University of Iowa, Iowa City.

1978 Aerial photographs, 19163 178-157, 178-158, 178-175, and 178-176, Princeton Township, Scott County, Iowa. On file, Map Library, The University of Iowa, Iowa City.

Iowa Department of Cultural Affairs
State Historical Society of Iowa
Iowa Site Inventory Form
Continuation Sheet

Site Number **82-05875**
Related District Number

Page 13

David C. and Melissa Hopson Evans Farm
Name of Property
24500 and 24502 Great River Road
Address

Scott
County
Princeton
City

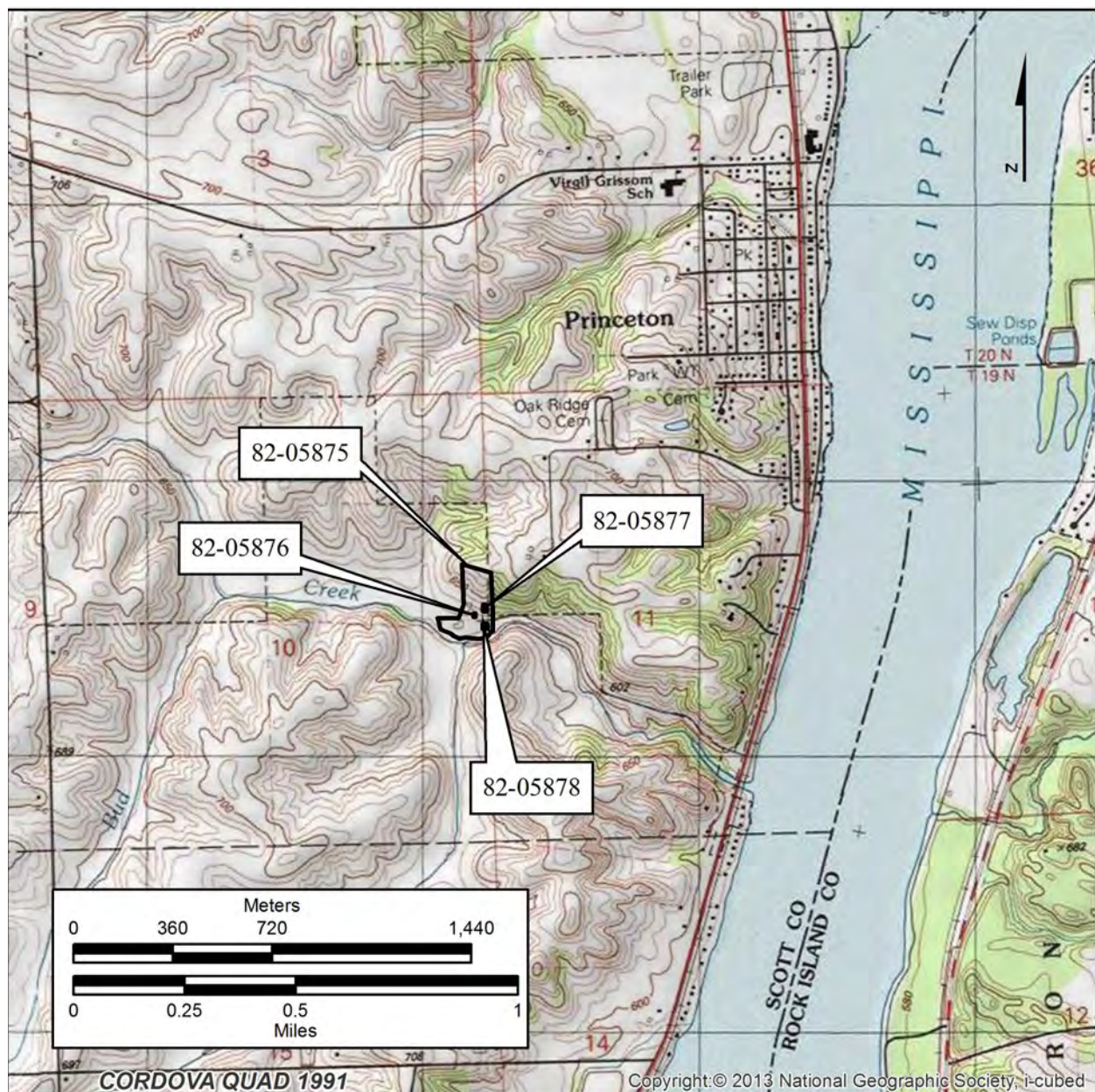


Figure 1. Location of David C. and Melissa Hobson Evans Farm (site 82-05875), 24500 and 24502 Great River Road, Princeton, Scott County, Iowa. Source: USGS Cordova, Iowa (1991), 7.5' series quadrangle map. Scale 1:24,000.

Iowa Department of Cultural Affairs
State Historical Society of Iowa
Iowa Site Inventory Form
Continuation Sheet

Site Number **82-05875**
Related District Number

Page 14

David C. and Melissa Hopson Evans Farm	Scott
Name of Property	County
24500 and 24502 Great River Road	Princeton
Address	City

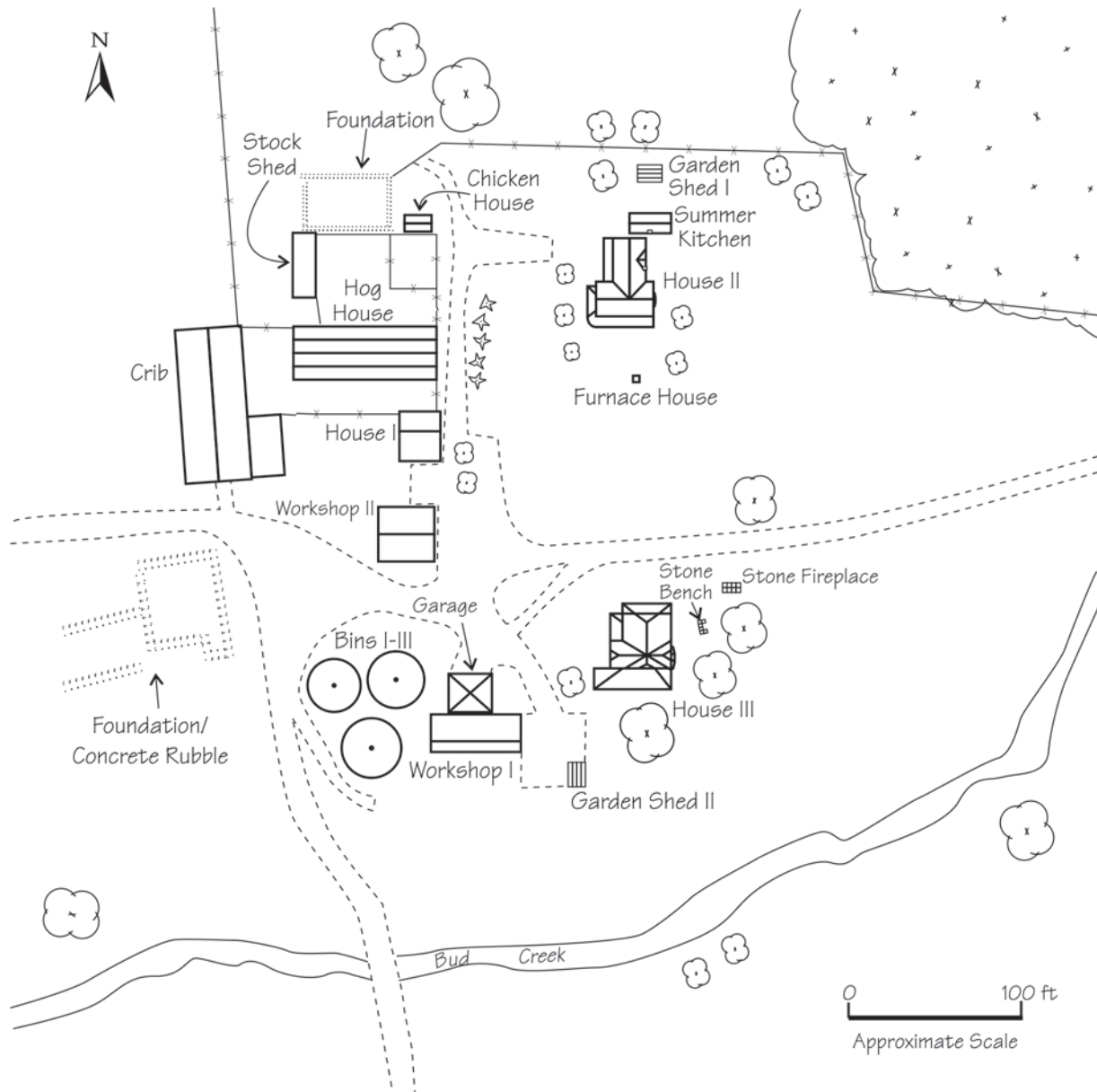


Figure 2. Site plan of David C. and Melissa Hobson Evans Farm (site 82-05875), 24500 and 24502 Great River Road, Princeton, Scott County, Iowa.

Iowa Department of Cultural Affairs
State Historical Society of Iowa
Iowa Site Inventory Form
Continuation Sheet

Site Number **82-05875**
Related District Number

Page 15

David C. and Melissa Hopson Evans Farm	Scott
Name of Property	County
24500 and 24502 Great River Road	Princeton
Address	City



Figure 3. General view of David C. and Melissa Hopson Evans Farm (site 82-05875), 24500 and 24502 Great River Road, Princeton, Scott County, Iowa, facing west-northwest. House II is shown on the hill on the right, and house III is on the left. Aside from historical photographs, all photographs in this report by Richard Carlson, February 22, 2018.

Iowa Department of Cultural Affairs
State Historical Society of Iowa
Iowa Site Inventory Form
Continuation Sheet

Site Number 82-05875
Related District Number

Page 16

David C. and Melissa Hopson Evans Farm	Scott
Name of Property	County
24500 and 24502 Great River Road	Princeton
Address	City



Figure 4. General view of David C. and Melissa Hopson Evans Farm (site 82-05875), 24500 and 24502 Great River Road, Princeton, Scott County, Iowa, facing northwest. Crib shown on left; row of buildings on right includes workshop II, house I, and hog house.

Iowa Department of Cultural Affairs
State Historical Society of Iowa
Iowa Site Inventory Form
Continuation Sheet

Site Number **82-05875**
Related District Number

Page 17

David C. and Melissa Hopson Evans Farm
Name of Property
24500 and 24502 Great River Road
Address

Scott
County
Princeton
City



Figure 5. House I (site 82-05876) on David C. and Melissa Hopson Evans Farm (site 82-05875), 24500 and 24502 Great River Road, Princeton, Scott County, Iowa, facing northeast.

Iowa Department of Cultural Affairs
State Historical Society of Iowa
Iowa Site Inventory Form
Continuation Sheet

Site Number **82-05875**
Related District Number

Page 18

David C. and Melissa Hopson Evans Farm	Scott
Name of Property	County
24500 and 24502 Great River Road	Princeton
Address	City



Figure 6. House II (site 82-05877) (center) and furnace house (left) on David C. and Melissa Hopson Evans Farm (site 82-05875), 24500 and 24502 Great River Road, Princeton, Scott County, Iowa, facing northwest.

Iowa Department of Cultural Affairs
State Historical Society of Iowa
Iowa Site Inventory Form
Continuation Sheet

Site Number **82-05875**
Related District Number

Page 19

David C. and Melissa Hopson Evans Farm	Scott
Name of Property	County
24500 and 24502 Great River Road	Princeton
Address	City



Figure 7. House III (site 82-05878) in distance, shown in relation to house II (site 82-05877) on right, on David C. and Melissa Hopson Evans Farm (site 82-05875), 24500 and 24502 Great River Road, Princeton, Scott County, Iowa, facing south-southwest.

Iowa Department of Cultural Affairs
State Historical Society of Iowa
Iowa Site Inventory Form
Continuation Sheet

Site Number **82-05875**
Related District Number

Page 20

David C. and Melissa Hopson Evans Farm
Name of Property
24500 and 24502 Great River Road
Address

Scott
County
Princeton
City



Figure 8. Summer kitchen on David C. and Melissa Hopson Evans Farm (site 82-05875), 24500 and 24502 Great River Road, Princeton, Scott County, Iowa, facing northwest.

Iowa Department of Cultural Affairs
State Historical Society of Iowa
Iowa Site Inventory Form
Continuation Sheet

Site Number **82-05875**
Related District Number

Page 21

David C. and Melissa Hopson Evans Farm
Name of Property
24500 and 24502 Great River Road
Address

Scott
County
Princeton
City



Figure 9. Summer kitchen on David C. and Melissa Hopson Evans Farm (site 82-05875), 24500 and 24502 Great River Road, Princeton, Scott County, Iowa, facing southeast.

Iowa Department of Cultural Affairs
State Historical Society of Iowa
Iowa Site Inventory Form
Continuation Sheet

Site Number **82-05875**
Related District Number

Page 22

David C. and Melissa Hopson Evans Farm	Scott
Name of Property	County
24500 and 24502 Great River Road	Princeton
Address	City



Figure 10. Garden shed I on David C. and Melissa Hopson Evans Farm (site 82-05875), 24500 and 24502 Great River Road, Princeton, Scott County, Iowa, facing southeast.



Figure 11. Garden shed II on David C. and Melissa Hopson Evans Farm (site 82-05875), 24500 and 24502 Great River Road, Princeton, Scott County, Iowa, facing southeast.

Iowa Department of Cultural Affairs
State Historical Society of Iowa
Iowa Site Inventory Form
Continuation Sheet

Site Number **82-05875**
Related District Number

Page 23

David C. and Melissa Hopson Evans Farm

Scott

Name of Property

County

24500 and 24502 Great River Road

Princeton

Address

City



Figure 12. Stone bench on David C. and Melissa Hopson Evans Farm (site 82-05875), 24500 and 24502 Great River Road, Princeton, Scott County, Iowa, facing northwest.

Iowa Department of Cultural Affairs
State Historical Society of Iowa
Iowa Site Inventory Form
Continuation Sheet

Site Number 82-05875
Related District Number

Page 24

David C. and Melissa Hopson Evans Farm
Name of Property
24500 and 24502 Great River Road
Address

Scott
County
Princeton
City



Figure 13. Stone fireplace on David C. and Melissa Hopson Evans Farm (site 82-05875), 24500 and 24502 Great River Road, Princeton, Scott County, Iowa, facing northwest.

Iowa Department of Cultural Affairs
State Historical Society of Iowa
Iowa Site Inventory Form
Continuation Sheet

Site Number **82-05875**
Related District Number

Page 25

David C. and Melissa Hopson Evans Farm
Name of Property
24500 and 24502 Great River Road
Address

Scott
County
Princeton
City



Figure 14. Garage on David C. and Melissa Hopson Evans Farm (site 82-05875), 24500 and 24502 Great River Road, Princeton, Scott County, Iowa, facing southeast.

Iowa Department of Cultural Affairs
State Historical Society of Iowa
Iowa Site Inventory Form
Continuation Sheet

Site Number **82-05875**
Related District Number

Page 26

David C. and Melissa Hopson Evans Farm
Name of Property
24500 and 24502 Great River Road
Address

Scott
County
Princeton
City



Figure 15. Workshop on David C. and Melissa Hopson Evans Farm (site 82-05875), 24500 and 24502 Great River Road, Princeton, Scott County, Iowa, facing northwest.

Iowa Department of Cultural Affairs
State Historical Society of Iowa
Iowa Site Inventory Form
Continuation Sheet

Site Number **82-05875**
Related District Number

Page 27

David C. and Melissa Hopson Evans Farm	Scott
Name of Property	County
24500 and 24502 Great River Road	Princeton
Address	City



Figure 16. Three grain bins on David C. and Melissa Hopson Evans Farm (site 82-05875), 24500 and 24502 Great River Road, Princeton, Scott County, Iowa, facing southwest.

Iowa Department of Cultural Affairs
State Historical Society of Iowa
Iowa Site Inventory Form
Continuation Sheet

Site Number **82-05875**
Related District Number

Page 28

David C. and Melissa Hopson Evans Farm	Scott
Name of Property	County
24500 and 24502 Great River Road	Princeton
Address	City



Figure 17. Crib on David C. and Melissa Hopson Evans Farm (site 82-05875), 24500 and 24502 Great River Road, Princeton, Scott County, Iowa, facing southwest.

Iowa Department of Cultural Affairs
State Historical Society of Iowa
Iowa Site Inventory Form
Continuation Sheet

Site Number **82-05875**
Related District Number

Page 29

David C. and Melissa Hopson Evans Farm	Scott
Name of Property	County
24500 and 24502 Great River Road	Princeton
Address	City



Figure 18. Stock shed on David C. and Melissa Hopson Evans Farm (site 82-05875), 24500 and 24502 Great River Road, Princeton, Scott County, Iowa, facing northwest.



Figure 19. Chicken house on David C. and Melissa Hopson Evans Farm (site 82-05875), 24500 and 24502 Great River Road, Princeton, Scott County, Iowa, facing northwest.

Iowa Department of Cultural Affairs
State Historical Society of Iowa
Iowa Site Inventory Form
Continuation Sheet

Site Number **82-05875**
Related District Number

Page 30

David C. and Melissa Hopson Evans Farm	Scott
Name of Property	County
24500 and 24502 Great River Road	Princeton
Address	City



Figure 20. Hog house on David C. and Melissa Hopson Evans Farm (site 82-05875), 24500 and 24502 Great River Road, Princeton, Scott County, Iowa, facing northwest.

Iowa Department of Cultural Affairs
State Historical Society of Iowa
Iowa Site Inventory Form
Continuation Sheet

Site Number **82-05875**
Related District Number

Page 31

David C. and Melissa Hopson Evans Farm	Scott
Name of Property	County
24500 and 24502 Great River Road	Princeton
Address	City



Figure 21. Modern building on site of former crib on David C. and Melissa Hopson Evans Farm (site 82-05875), 24500 and 24502 Great River Road, Princeton, Scott County, Iowa, facing southwest.

Iowa Department of Cultural Affairs
State Historical Society of Iowa
Iowa Site Inventory Form
Continuation Sheet

Site Number **82-05875**
Related District Number

Page 32

David C. and Melissa Hopson Evans Farm	Scott
Name of Property	County
24500 and 24502 Great River Road	Princeton
Address	City



Figure 22. Undated aerial photograph of the David C. and Melissa Hopson Evans Farm (site 82-05875), 24500 and 24502 Great River Road, Princeton, Scott County, Iowa, facing northeast. Although the photograph is undated, it was taken before the construction of the crib, which was built between 1957 and 1963. A detailed comparison of this photograph to dated aerial photographs from the U.S. Department of Agriculture taken in 1937, 1957, and 1963, may help narrow down the date that this photograph was taken (USDA 1937, 1957, 1963). Since aerial photographs of this kind were not common before the 1950s, this photograph probably dates to the 1950s or early 1960s, no more than a few years before the crib was built.

Iowa Department of Cultural Affairs
State Historical Society of Iowa
Iowa Site Inventory Form
Continuation Sheet

Site Number 82-05875
Related District Number

Page 33

David C. and Melissa Hopson Evans Farm	Scott
Name of Property	County
24500 and 24502 Great River Road	Princeton
Address	City



Figure 23. Undated photograph of the stone fireplace and bench reportedly built by Ellwyn Kroeger on his home farm during a period when he was laid off at the Maytag plant in Newton, Iowa, presumably in the 1930s. For contemporary views of these structures, see Figures 12 and 13 above. Photographs in possession of the Anderson family.

Site Inventory Form
State Historical Society of Iowa
(November 2005)

State Inventory No. 82-05876

☒ New ☐ Supplemental

☒ Part of a district with known boundaries (enter inventory no.) 82-05875

Relationship: ☒ Contributing ☐ Noncontributing

☐ Contributes to a potential district with yet unknown boundaries

National Register Status:(any that apply) ☐ Listed ☐ De-listed ☐ NHL ☐ DOE

9-Digit SHPO Review & Compliance (R&C) Number _____

☐ Non-Extant (enter year) _____

1. Name of Property

historic name house I on David C. and Melissa Hopson Evans Farm

other names/site number _____

2. Location

street & number 24500 Great River Road

city or town Princeton

☒ vicinity, county Scott

Legal Description: (If Rural) Township Name

Township No.

Range No.

Section

Quarter

of Quarter

Princeton

79N

5E

10

SE

NE

(If Urban) Subdivision _____

Block(s) _____

Lot(s) _____

3. State/Federal Agency Certification [Skip this Section]

4. National Park Service Certification [Skip this Section]

5. Classification

Category of Property (Check only one box)

☒ building(s)

☐ district

☐ site

☐ structure

☐ object

Number of Resources within Property

If Non-Eligible Property

Enter number of:

1 buildings

— sites

— structures

— objects

1 Total

If Eligible Property, enter number of:

Contributing Noncontributing

— — buildings

— — sites

— — structures

— — objects

— — Total

Name of related project report or multiple property study (Enter "N/A" if the property is not part of a multiple property examination).

Title

Carlson 2018, Technical Report 711

Historical Architectural Data Base Number

82-069

6. Function or Use

Historic Functions (Enter categories from instructions)

01A01 DOMESTIC/single dwelling/residence

Current Functions (Enter categories from instructions)

70 VACANT/NOT IN USE

7. Description

Architectural Classification (Enter categories from instructions)

09A01 OTHER/house/front-gabled roof

Materials (Enter categories from instructions)

foundation

10A CONCRETE/block

walls (visible material)

02A WOOD/weatherboard

roof

02B WOOD/shingles

other _____

Narrative Description (☒ SEE CONTINUATION SHEETS, WHICH MUST BE COMPLETED)

8. Statement of Significance

Applicable National Register Criteria (Mark "x" representing your opinion of eligibility after applying relevant National Register criteria)

☐ Yes ☒ No ☐ More Research Recommended

A Property is associated with significant events.

☐ Yes ☒ No ☐ More Research Recommended

B Property is associated with the lives of significant persons.

☐ Yes ☒ No ☐ More Research Recommended

C Property has distinctive architectural characteristics.

☐ Yes ☐ No ☐ More Research Recommended

D Property yields significant information in archaeology or history.

County Scott
City Princeton
05875

Address 24500 Great River Road

Site Number 82-05876

District Number 82-

Criteria Considerations

- ☐ A Owned by a religious institution or used for religious purposes.
- ☒ B Removed from its original location.
- ☐ C A birthplace or grave.
- ☐ D A cemetery
- ☐ E A reconstructed building, object, or structure.
- ☐ F A commemorative property.
- ☐ G Less than 50 years of age or achieved significance within the past 50 years.

Areas of Significance (Enter categories from instructions)

02 ARCHITECTURE

15 EXPLORATION/SETTLEMENT

Significant Dates

Construction date

1865

☒ check if circa or estimated date

Other dates, including renovation

Significant Person

(Complete if National Register Criterion B is marked above)

N/A

Architect/Builder

Architect

unknown

Builder

unknown

Narrative Statement of Significance (☒ SEE CONTINUATION SHEETS, WHICH MUST BE COMPLETED)

9. Major Bibliographical References

Bibliography ☒ See continuation sheet for citations of the books, articles, and other sources used in preparing this form

10. Geographic Data

UTM References (OPTIONAL)

Zone	Easting	Northing	Zone	Easting	Northing
1	_____	_____	2	_____	_____
3	_____	_____	4	_____	_____

☐ See continuation sheet for additional UTM references or comments

11. Form Prepared By

name/title Richard J. Carlson/Architectural Historian

organization Office of the State Archaeologist

street & number 700 Clinton Street Building

city or town Iowa City

state IA

date 2/23/2018

telephone 319-384-0732

zip code 52242-1030

ADDITIONAL DOCUMENTATION (Submit the following items with the completed form)

FOR ALL PROPERTIES

- Map:** showing the property's location in a town/city or township.
- Site plan:** showing position of buildings and structures on the site in relation to public road(s).
- Photographs:** representative black and white photos. If the photos are taken as part of a survey for which the Society is to be curator of the negatives or color slides, a photo/catalog sheet needs to be included with the negatives/slides and the following needs to be provided below on this particular inventory site:

Roll/slide sheet #	<u>N/A</u>	Frame/slot #	_____	Date Taken	_____
Roll/slide sheet #	_____	Frame/slot #	_____	Date Taken	_____
Roll/slide sheet #	_____	Frame/slot #	_____	Date Taken	_____

☐ See continuation sheet or attached *photo & slide catalog sheet* for list of photo roll or slide entries.

☒ Photos/illustrations without negatives are also in this site inventory file.

FOR CERTAIN KINDS OF PROPERTIES, INCLUDE THE FOLLOWING AS WELL

- Farmstead & District:** (List of structures and buildings, known or estimated year built, and contributing or noncontributing status)
- Barn:**
 - A sketch of the frame/truss configuration in the form of drawing a typical middle bent of the barn.
 - A photograph of the loft showing the frame configuration along one side.
 - A sketch floor plan of the interior space arrangements along with the barn's exterior dimensions in feet.

State Historic Preservation Office (SHPO) Use Only Below This Line

Concur with above survey opinion on National Register eligibility: ☐ Yes ☐ No ☐ More Research Recommended

☐ This is a locally designated property or part of a locally designated district.

Comments: _____

Evaluated by (name/title): _____

Date: _____

Iowa Department of Cultural Affairs
State Historical Society of Iowa
Iowa Site Inventory Form
Continuation Sheet

Site Number **82-05876**
Related District Number 82-05875

Page 1

house I on David C. and Melissa Hopson Evans Farm	Scott
Name of Property	County
24500 Great River Road	Princeton
Address	City

7. Narrative Description

This former house is located at 24500 Great River Road near Princeton, Scott County, Iowa. The former house is now vacant, but it appears to have been used historically as a storage shed after its use as a residence. The house is divided into two sections. The main section on the north is a 1½-story front-gabled building that measures 16' x 18'. Attached on the south is a 10' x 18' shed-roofed wing. This wing may be original to the house, or it may have been added at the time the building was moved and converted to a storage shed, probably in the early twentieth century. The house sits on rock-faced concrete block piers, which are supplemented under the south wing by clay tile blocks. The walls are clad in clapboards. The roofs over both sections of the house are covered in wood shingles (Figures 1–3).

The current principal facade, which faces east, almost certainly used to be the rear wall of the house, based on the location of the staircase. The east facade has a double-leaf drive door under a tall second-story hatch door in the gable-roofed section, and a combination sliding and hinged drive and entry door in the shed-roofed wing. The doors are all constructed of beaded board. The south facade of this wing has a beaded board entry door with a ceramic knob near the east end. The only windows on the house are located on the west and north facades. On the west, which was likely the original front facade of the house, are an entry door on the north, a small window opening with no sash in the east half of the gabled wing, and a 6/6-light window in the shed-roofed wing on the south. The gable field also has a 6/6-light window. On the north facade are two 6/6-light windows. In all cases, the windows on the house are broken and missing some combination of glass panes and muntin bars.

The interior of the house is divided into a single room on each floor of the gable-roofed section and what is likely a single room in the one-story shed-roofed wing on the south. The south wing was not accessible at the time of the field investigation, so it was not documented as part of the present report. The gable-roofed section of the house is of frame construction, with walls built of full-dimension 2" x 4" studs placed on 24" centers, and the ceiling constructed of full-dimension 2" x 6" joists, also on 24" centers. The walls and ceilings on both the lower and upper stories are finished in lath and plaster, which is damaged or missing in many places. The south wall of the first story has a brick flue with an opening for a stovepipe. There is no evidence of any current or former interior partitions on either floor, aside from the wall between the gable-roofed section and the south wing. A single door near the east end of that wall provides access between the two sections (Figures 4–9).

Although the house displays few features that serve to date its construction, the muntin bars and metal pins used in the windows (Figure 10) and the baseboard molding profile (Figures 11 and 12) all serve to suggest a construction date around the 1850s or 1860s. Because these features were used for several decades in the mid-nineteenth century, it is unlikely that any of these features is sufficiently diagnostic to help further pinpoint a date of construction.

Integrity. This former residence retains a moderate degree of period integrity from the time it was built. The principal change, other than a change in use from a residence to a storage shed, has been the replacement of the original fenestration on the east facade by two drive doors on the lower level and a loft door on the upper level. The other changes are the result of the deterioration of the building through disuse, such as the loss of many of the muntin bars and glass panes from the original windows. The building retains a moderate degree of integrity of *location*. The building was almost certainly moved since it was first built, but it is likely to have been built on the property on which it stands today, so it was

Iowa Department of Cultural Affairs
State Historical Society of Iowa
Iowa Site Inventory Form
Continuation Sheet

Site Number **82-05876**
Related District Number 82-05875

Page 2

house I on David C. and Melissa Hopson Evans Farm	Scott
Name of Property	County
24500 Great River Road	Princeton
Address	City

probably not moved more than one or two hundred feet from its original location. Its integrity of *setting* also remains moderate. It remains surrounded by agricultural outbuildings, but all of the extant farm buildings were built after house I ceased to be used as a residence, so its relationship to those buildings has changed. Its integrity of *design*, *materials*, and *workmanship* remain moderate to high, despite the poor condition of the building. It clearly displays its original 16' x 18' front-gabled form with 10' x 18' wing, exterior clapboard siding, interior lath and plaster walls and ceiling, and interior baseboard on the first floor. It also retains sufficient remnants of its original 6/6-light windows, brick flue, interior staircase, and other features, to be clearly identifiable as a ca. 1860s residence. These features have been compromised by the later introduction of larger openings on the east facade and by the deterioration of original features—particularly the windows, but also the interior staircase and the lath and plaster walls and ceiling. Because of the changes that have been made to the building since its conversion to a storage shed, it is not immediately recognizable as a former residence, especially when viewed from the east. Its integrity of *feeling* and *association* are therefore moderate to low.

8. Statement of Significance

As described in greater detail in the Iowa Site Inventory Form for site 82-05875, the David C. and Melissa Hopson Evans Farm, this house was most likely built for David and Melissa Evans shortly after their marriage in December 1865. At the time of the 1870 census, David and Melissa Evans were living in Princeton Township, probably on the site of this farmstead. While it is not known with certainty that the building labeled here as house I was an earlier house on the same farmstead, the present building was unquestionably built as a house rather than as an outbuilding. The other nineteenth century house on the same farm, house II, is both larger and architecturally more elaborate than house I, and displays stylistic elements (particularly its 2/2-light windows and a three-sided bay window) that most likely date to the 1870s or early 1880s. While other possibilities are consistent with the evidence—for example, that the two houses shown on the 1894 and 1905 landowner map are house II and another unknown house, and that the building labeled here as house I was moved to this farmstead from a different location—it is more likely that house I remains on the farmstead on which it was originally built and that it predates house II.

The most likely hypothesis, consistent with the available evidence, is that house I was built for the Evanses shortly after their 1865 marriage, and probably before the 1870 census; that it was the single house shown on this property on the 1882 landowner map of Princeton Township; that it was supplemented by house II within a few years after 1882, resulting in two houses being shown on this property on the 1894 and 1905 landowner maps; and that after the construction of house III around 1910, the original house was converted to a workshop or storage shed. For more on the dates of construction of house II and house III, including source citations, see the Iowa Site Inventory Form for site 82-05875. For more on house II and house III, see also the Iowa Site Inventory forms for sites 82-05877 and 82-05878.

If this hypothesis is correct, it is not clear who, if anyone, occupied house I during the quarter century between the construction of house II in the 1880s and house III around 1910. In particular, if house I was occupied in 1900, one would expect to see a household listed in the census adjacent to that of then-owner Marx Kroeger. But the only people listed adjacent to Kroeger in the 1900 census all appear to have been located on the north side of Princeton, and no likely renters appear among them (Huebinger

Iowa Department of Cultural Affairs
State Historical Society of Iowa
Iowa Site Inventory Form
Continuation Sheet

Site Number **82-05876**
Related District Number 82-05875

Page 3

house I on David C. and Melissa Hopson Evans Farm	Scott
Name of Property	County
24500 Great River Road	Princeton
Address	City

Survey and Map 1894:43; Iowa 1905:19; U.S. Bureau of the Census 1900:5B). It is possible that the house was shown on landowner maps even if it was not occupied. The 1895 Iowa state census could also be consulted to see who was listed adjacent to Marx Kroeger in that year.

In any event, house I was most likely occupied continuously as a residence from the 1860s to the 1880s, then served as a relative's house, hired man's house, or another domestic function for the next several decades, possibly including being left unoccupied for one or more periods. The foundation materials used in the south half of the building—tile blocks and concrete block piers—appear to date the move of the building to its present location sometime between the 1910s and 1930s. It is shown in its present location on the first available aerial photograph of this area, taken in 1937 (USDA 1937). It is not known whether the one-story shed-roofed addition on the south side of the building was part of the original residence or was only added after the building was converted to a shed. The 6/6-light window on the west facade of the shed-roofed wing suggests that this wing may have been original to the house, since that type of window was most common in the mid-nineteenth century. On the other hand, the window could also have been salvaged from the front facade when the drive and mow doors were installed during the building's conversion to a shed. More information is needed to be able to reconstruct the building sequence of this house more exactly.

Although its use after it ceased to be a residence is not known with certainty, it appears to have been used as a workshop or storage shed, and perhaps also a small machine shed, based on the drive doors on the east facade and the shelf and other minimal features on the interior walls. The building does not appear to have been used for any function other than storage for the past several decades. It is currently not in use and deteriorating.

This former house is evaluated as not eligible for listing in the National Register of Historic Places under any criterion. Although it remains clearly recognizable as a ca. 1860s residence, the many changes that were made to the building when it was converted to a storage shed, particularly to the fenestration on the east facade, have substantially reduced its period integrity. Other houses in the area that appear to date to around the Civil War era survive with a higher degree of period integrity. Although those houses that have been identified represent a different residential building type, typically the I-house, they convey the importance of houses of that era better than does house I. Moreover, the uncertainty surrounding the origins and early history of house I precludes any Criterion A eligibility argument, and no evidence uncovered during the research for the present report suggests that the house is significant for its association with any person. For these reasons, house I is evaluated as not eligible for listing in the National Register of Historic Places under Criterion A, B, or C, or Criteria Considerations A through G.

Iowa Department of Cultural Affairs
State Historical Society of Iowa
Iowa Site Inventory Form
Continuation Sheet

Site Number **82-05876**
Related District Number 82-05875

Page 4

house I on David C. and Melissa Hopson Evans Farm	Scott
Name of Property	County
24500 Great River Road	Princeton
Address	City

9. Major Bibliographic References

Carlson, Richard J.

- 2018 *Phase I Intensive Historic Architectural Investigation of the Proposed Anderson 400 IEDA Project, Section 10, T79N-R05E, Scott County, Iowa*. Technical Report 711. Third revision. Office of the State Archaeologist, The University of Iowa, Iowa City.

Huebinger Survey and Map

- 1894 *Atlas of Scott County, Iowa*. Huebinger Survey and Map Publishing Co., Davenport, Iowa.
Iowa

- 1905 *Atlas of Scott County, Iowa*. The Iowa Publishing Co., Davenport, Iowa.

United States Bureau of the Census

- 1900 United States Census, Population Schedules. Iowa, Scott County, Princeton Township, Enumeration District 146 (Marx Kroeger entry).

United States Department of Agriculture

- 1937 Aerial photographs, TA-4-342 through TA-4-344, Princeton Township, Scott County, Iowa. On file, Map Library, The University of Iowa, Iowa City.

Iowa Department of Cultural Affairs
State Historical Society of Iowa
Iowa Site Inventory Form
Continuation Sheet

Site Number **82-05876**
Related District Number 82-05875

Page 5

house I on David C. and Melissa Hopson Evans Farm	Scott
Name of Property	County
24500 Great River Road	Princeton
Address	City



Figure 1. House I (site 82-05876) on the David C. and Melissa Hopson Evans Farm (site 82-05875), 24500 Great River Road, Princeton, Scott County, Iowa, facing southwest. All photographs in this report by Richard Carlson, February 22, 2018.

Iowa Department of Cultural Affairs
State Historical Society of Iowa
Iowa Site Inventory Form
Continuation Sheet

Site Number **82-05876**
Related District Number **82-05875**

Page 6

house I on David C. and Melissa Hopson Evans Farm

Scott

Name of Property

County

24500 Great River Road

Princeton

Address

City



Figure 2. House I (site 82-05876) on the David C. and Melissa Hopson Evans Farm (site 82-05875), 24500 Great River Road, Princeton, Scott County, Iowa, facing northwest.

Iowa Department of Cultural Affairs
State Historical Society of Iowa
Iowa Site Inventory Form
Continuation Sheet

Site Number **82-05876**
Related District Number **82-05875**

Page 7

house I on David C. and Melissa Hopson Evans Farm

Scott

Name of Property

County

24500 Great River Road

Princeton

Address

City



Figure 3. House I (site 82-05876) on the David C. and Melissa Hopson Evans Farm (site 82-05875), 24500 Great River Road, Princeton, Scott County, Iowa, facing east.

Iowa Department of Cultural Affairs
State Historical Society of Iowa
Iowa Site Inventory Form
Continuation Sheet

Site Number 82-05876
Related District Number 82-05875

Page 8

house I on David C. and Melissa Hopson Evans Farm	Scott
Name of Property	County
24500 Great River Road	Princeton
Address	City



Figure 4. Interior of house I (site 82-05876) on the David C. and Melissa Hopson Evans Farm (site 82-05875), 24500 Great River Road, Princeton, Scott County, Iowa, first floor, facing northeast from staircase.

Iowa Department of Cultural Affairs
State Historical Society of Iowa
Iowa Site Inventory Form
Continuation Sheet

Site Number 82-05876
Related District Number 82-05875

Page 9

house I on David C. and Melissa Hopson Evans Farm	Scott
Name of Property	County
24500 Great River Road	Princeton
Address	City



Figure 5. Interior of house I (site 82-05876) on the David C. and Melissa Hopson Evans Farm (site 82-05875), 24500 Great River Road, Princeton, Scott County, Iowa, first floor, facing east from door.

Iowa Department of Cultural Affairs
State Historical Society of Iowa
Iowa Site Inventory Form
Continuation Sheet

Site Number 82-05876
Related District Number 82-05875

Page 10

house I on David C. and Melissa Hopson Evans Farm	Scott
Name of Property	County
24500 Great River Road	Princeton
Address	City



Figure 6. Interior of house I (site 82-05876) on the David C. and Melissa Hopson Evans Farm (site 82-05875), 24500 Great River Road, Princeton, Scott County, Iowa, first floor, facing southeast from door.

Iowa Department of Cultural Affairs
State Historical Society of Iowa
Iowa Site Inventory Form
Continuation Sheet

Site Number 82-05876
Related District Number 82-05875

Page 11

house I on David C. and Melissa Hopson Evans Farm	Scott
Name of Property	County
24500 Great River Road	Princeton
Address	City



Figure 7. Interior of house I (site 82-05876) on the David C. and Melissa Hopson Evans Farm (site 82-05875), 24500 Great River Road, Princeton, Scott County, Iowa, first floor, facing south.

Iowa Department of Cultural Affairs
State Historical Society of Iowa
Iowa Site Inventory Form
Continuation Sheet

Site Number **82-05876**
Related District Number 82-05875

Page 12

house I on David C. and Melissa Hopson Evans Farm	Scott
Name of Property	County
24500 Great River Road	Princeton
Address	City



Figure 8. Underside of staircase, interior of house I (site 82-05876) on the David C. and Melissa Hopson Evans Farm (site 82-05875), 24500 Great River Road, Princeton, Scott County, Iowa, first floor, facing northwest.

Iowa Department of Cultural Affairs
State Historical Society of Iowa
Iowa Site Inventory Form
Continuation Sheet

Site Number 82-05876
Related District Number 82-05875

Page 13

house I on David C. and Melissa Hopson Evans Farm	Scott
Name of Property	County
24500 Great River Road	Princeton
Address	City



Figure 9. Interior of house I (site 82-05876) on the David C. and Melissa Hopson Evans Farm (site 82-05875), 24500 Great River Road, Princeton, Scott County, Iowa, upper floor, facing east.

Iowa Department of Cultural Affairs
State Historical Society of Iowa
Iowa Site Inventory Form
Continuation Sheet

Site Number 82-05876
Related District Number 82-05875

Page 14

house I on David C. and Melissa Hopson Evans Farm	Scott
Name of Property	County
24500 Great River Road	Princeton
Address	City



Figure 10. Detail of window on west half of north facade, interior of house I (site 82-05876) on the David C. and Melissa Hopson Evans Farm (site 82-05875), 24500 Great River Road, Princeton, Scott County, Iowa, first floor, facing north-northeast. Note the metal pins in each sash used to secure it in an open position.

Iowa Department of Cultural Affairs
State Historical Society of Iowa
Iowa Site Inventory Form
Continuation Sheet

Site Number 82-05876
Related District Number 82-05875

Page 15

house I on David C. and Melissa Hopson Evans Farm	Scott
Name of Property	County
24500 Great River Road	Princeton
Address	City



Figure 11. Detail of baseboard along south wall, interior of house I (site 82-05876) on the David C. and Melissa Hopson Evans Farm (site 82-05875), 24500 Great River Road, Princeton, Scott County, Iowa, first floor, facing southeast.

Iowa Department of Cultural Affairs
State Historical Society of Iowa
Iowa Site Inventory Form
Continuation Sheet

Site Number **82-05876**
Related District Number 82-05875

Page 16

house I on David C. and Melissa Hopson Evans Farm	Scott
Name of Property	County
24500 Great River Road	Princeton
Address	City



Figure 12. Detail of baseboard profile along west wall, interior of house I (site 82-05876) on the David C. and Melissa Hopson Evans Farm (site 82-05875), 24500 Great River Road, Princeton, Scott County, Iowa, first floor, facing southwest.

Site Inventory Form
State Historical Society of Iowa
(November 2005)

State Inventory No. 82-05877

☒ New ☐ Supplemental

☒ Part of a district with known boundaries (enter inventory no.) 82-05875

Relationship: ☒ Contributing ☐ Noncontributing

☐ Contributes to a potential district with yet unknown boundaries

National Register Status:(any that apply) ☐ Listed ☐ De-listed ☐ NHL ☐ DOE

9-Digit SHPO Review & Compliance (R&C) Number _____

☐ Non-Extant (enter year) _____

1. Name of Property

historic name house II on David C. and Melissa Hopson Evans Farm

other names/site number _____

2. Location

street & number 24502 Great River Road

city or town Princeton

☒ vicinity, county Scott

Legal Description: (If Rural) Township Name

Township No.

Range No.

Section

Quarter

of Quarter

Princeton

79N

5E

10

SE

NE

(If Urban) Subdivision _____

Block(s) _____

Lot(s) _____

3. State/Federal Agency Certification [Skip this Section]

4. National Park Service Certification [Skip this Section]

5. Classification

Category of Property (Check only one box)

☒ building(s)

☐ district

☐ site

☐ structure

☐ object

Number of Resources within Property

If Non-Eligible Property

Enter number of:

1 buildings

— sites

— structures

— objects

1 Total

If Eligible Property, enter number of:

Contributing Noncontributing

— buildings

— sites

— structures

— objects

— Total

Name of related project report or multiple property study (Enter "N/A" if the property is not part of a multiple property examination).

Title

Carlson 2018, Technical Report 711

Historical Architectural Data Base Number

82-069

6. Function or Use

Historic Functions (Enter categories from instructions)

01A01 DOMESTIC/single dwelling/residence

Current Functions (Enter categories from instructions)

01A01 DOMESTIC/single dwelling/residence

7. Description

Architectural Classification (Enter categories from instructions)

09A10 OTHER/house/1-1/2 story

Materials (Enter categories from instructions)

foundation

04C STONE/limestone

walls (visible material)

02A WOOD/weatherboard

roof

05 METAL

other _____

Narrative Description (☒ SEE CONTINUATION SHEETS, WHICH MUST BE COMPLETED)

8. Statement of Significance

Applicable National Register Criteria (Mark "x" representing your opinion of eligibility after applying relevant National Register criteria)

☐ Yes ☒ No ☐ More Research Recommended

☐ Yes ☒ No ☐ More Research Recommended

☐ Yes ☒ No ☐ More Research Recommended

☐ Yes ☐ No ☐ More Research Recommended

A Property is associated with significant events.

B Property is associated with the lives of significant persons.

C Property has distinctive architectural characteristics.

D Property yields significant information in archaeology or history.

County Scott
City Princeton
05875

Address 24502 Great River Road

Site Number 82-05877

District Number 82-

Criteria Considerations

- | | |
|---|---|
| <input type="checkbox"/> A Owned by a religious institution or used for religious purposes. | <input type="checkbox"/> E A reconstructed building, object, or structure. |
| <input type="checkbox"/> B Removed from its original location. | <input type="checkbox"/> F A commemorative property. |
| <input type="checkbox"/> C A birthplace or grave. | <input type="checkbox"/> G Less than 50 years of age or achieved significance within the past 50 years. |
| <input type="checkbox"/> D A cemetery | |

Areas of Significance (Enter categories from instructions)

02 ARCHITECTURE

Significant Dates

Construction date

1885

☒ check if circa or estimated date

Other dates, including renovation

Significant Person

(Complete if National Register Criterion B is marked above)

N/A

Architect/Builder

Architect

unknown

Builder

unknown

Narrative Statement of Significance (☒ SEE CONTINUATION SHEETS, WHICH MUST BE COMPLETED)

9. Major Bibliographical References

Bibliography ☒ See continuation sheet for citations of the books, articles, and other sources used in preparing this form

10. Geographic Data

UTM References (OPTIONAL)

Zone	Easting	Northing	Zone	Easting	Northing
1	_____	_____	2	_____	_____
3	_____	_____	4	_____	_____

☐ See continuation sheet for additional UTM references or comments

11. Form Prepared By

name/title Richard J. Carlson/Architectural Historian

organization Office of the State Archaeologist

street & number 700 Clinton Street Building

city or town Iowa City

state IA

date 2/23/2018

telephone 319-384-0732

zip code 52242-1030

ADDITIONAL DOCUMENTATION (Submit the following items with the completed form)

FOR ALL PROPERTIES

- Map:** showing the property's location in a town/city or township.
- Site plan:** showing position of buildings and structures on the site in relation to public road(s).
- Photographs:** representative black and white photos. If the photos are taken as part of a survey for which the Society is to be curator of the negatives or color slides, a photo/catalog sheet needs to be included with the negatives/slides and the following needs to be provided below on this particular inventory site:

Roll/slide sheet # N/A Frame/slot # _____ Date Taken _____

Roll/slide sheet # _____ Frame/slot # _____ Date Taken _____

Roll/slide sheet # _____ Frame/slot # _____ Date Taken _____

☐ See continuation sheet or attached *photo & slide catalog sheet* for list of photo roll or slide entries.

☒ Photos/illustrations without negatives are also in this site inventory file.

FOR CERTAIN KINDS OF PROPERTIES, INCLUDE THE FOLLOWING AS WELL

- Farmstead & District:** (List of structures and buildings, known or estimated year built, and contributing or noncontributing status)
- Barn:**
 - A sketch of the frame/truss configuration in the form of drawing a typical middle bent of the barn.
 - A photograph of the loft showing the frame configuration along one side.
 - A sketch floor plan of the interior space arrangements along with the barn's exterior dimensions in feet.

State Historic Preservation Office (SHPO) Use Only Below This Line

Concur with above survey opinion on National Register eligibility: ☐ Yes ☐ No ☐ More Research Recommended

☐ This is a locally designated property or part of a locally designated district.

Comments: _____

Evaluated by (name/title): _____

Date: _____

Iowa Department of Cultural Affairs
State Historical Society of Iowa
Iowa Site Inventory Form
Continuation Sheet

Site Number **82-05877**
Related District Number **82-05875**

Page 1

house II on David C. and Melissa Hopson Evans Farm	Scott
Name of Property	County
24502 Great River Road	Princeton
Address	City

7. Narrative Description

This house is located at 24502 Great River Road near Princeton, Scott County, Iowa. The house is divided into two principal sections. The front section on the south is a 1½-story side-gabled building that measures 16' x 30'. Attached on the north is a 16' x 26' cross-gabled wing. A three-sided bay window on the east gable end of the front section is likely original, but the wraparound porch and a one-story rear addition on the northwest corner of the house are later introductions. The house sits on a foundation of semi-coursed, roughly rectangular reddish-yellow limestone blocks. It is clad in clapboards, although the clapboards on the rear gable end of the rear wing are different from those elsewhere on the house, and may be made from a modern material. The roof is covered in standing seam metal (Figures 1–6).

The front facade, which faces south, is dominated by a wraparound porch that spans the front facade and extends around to the west side of the side-gabled section. The porch roof is supported by Doric posts. A railing with turned spindles extends between the posts. Beneath the porch is a stucco-clad wall with a modern garage door on the east side. The three-bay front facade of the house has a central door flanked by a 2/2-light window on each side on the first floor, and a row of three smaller 2/2-light windows on the second floor. The front door appears to be a modern replacement set into a smaller opening. The east gable end of the front section has a three-sided bay window on the first story, each face of which has a 2/2-light window. Another 2/2-light window is located above the bay window on the second floor. The west gable end of the front section has one 2/2-light window on each floor, with the first-story window off-center to the south, and the second-story window centered.

The cross-gabled rear wing and one-story addition on the northwest have been altered considerably. On the east, a large modern white stone chimney has been built just south of an older 2/2-light window beneath a center gable in this facade. The only other fenestration is a modern (less than 50 years old) paired 1/1-light window on the first floor at the north end. On the rear gable end of the rear wing, the only fenestration is a modern door near the east end and a relatively modern 1/1-light window on the west similar to that on the east facade. A modern octagonal vent is located in the gable field. On the east facade of the rear wing are a one-story shed roofed addition with a modern door and windows. Two modern windows are located in the wall above the addition.

The interior of the house was not visited for the present survey, but an archaeologist from the Office of the State Archaeologist, who visited the house in December 2017, noted that the front section had a hall-and-parlor layout, with a central hall and one large room each on the east and west on the first story. The kitchen is located on the first story of the rear wing (Schroeder 2018).

Integrity. This residence retains a moderate to high degree of period integrity from the time it was built. Some changes, such as the construction of a second story on the rear wing and the construction of the wraparound porch, were made in the early twentieth century. The construction of the basement garage under the front porch probably dates to the mid- to late twentieth century. The removal of all exterior brick chimneys, the construction of an exterior chimney on the east facade, and the replacement of doors and windows on the rear wing, were all changes made in the past two decades or so. The building retains excellent integrity of *location*, since it appears not to have been moved since it was first built. Its integrity of *setting* remains moderate to high. It stands on a hillslope with its associated farm buildings located to the west, although the farm buildings are all different from the ones in place when the

Iowa Department of Cultural Affairs
State Historical Society of Iowa
Iowa Site Inventory Form
Continuation Sheet

Site Number **82-05877**
Related District Number 82-05875

Page 2

house II on David C. and Melissa Hopson Evans Farm	Scott
Name of Property	County
24502 Great River Road	Princeton
Address	City

house was built. Its integrity of *design, materials, and workmanship* remain moderate to high from the time the building attained its present form, probably in the early twentieth century. As noted above, the doors, some windows, and exterior chimney are modern, but the house retains its original T-shaped plan, stone foundation, clapboard siding, bay window, and many original 2/2-light windows. Although the farmstead is no longer a full working farm, house II remains in its original use as a residence in close proximity to its associated farm buildings, and it remains recognizable as a ca. 1870s or 1880s house. For these reasons, its integrity of *feeling* and *association* also remain high.

8. Statement of Significance

As described in greater detail in the Iowa Site Inventory Form for site 82-05875, the David C. and Melissa Hopson Evans Farm, this house was most likely built for David and Melissa Evans as a replacement house for their first house on this farmstead, house I (site 82-05876). Historic landowner maps show two houses on this parcel in 1894 and 1905, which are most likely to be house I and house II (Huebinger Survey and Map 1894:43; Iowa 1905:19). House II had certainly been built by about 1895, when it is shown in the background of a historic photograph of the Marx Kroeger family (Figure 7). Since house III almost certainly post-dates 1905, the houses shown in 1894 and 1905 were likely house I and house II. The fact that the 1882 landowner map shows only one house suggests that house II was built after 1882 (Schmidt and Huebinger 1882:18). Stylistically house II appears to date to the 1870s or early 1880s, since it displays Italianate rather than Queen Anne features. Queen Anne features would have been much more common by the late 1880s. For this reason, it appears more likely that the house was built for the Evans family, who owned this land until 1889, than for the family of Marx Kroeger, who bought the land in 1889. For more on the ownership of this parcel, see the Iowa Site Inventory Form for site 82-05875.

The Evans family was never large. No more than two children were listed with David and Melissa Evans in census records taken in 1870, 1880, and 1885 (Rosetta and Albert in the first two, Alfa and Minnie in 1885). Two other children may have been born in the 1870s but died young, since in 1900, Melissa Evans was recorded in the census as having had six children, two of them living (U.S. Bureau of the Census 1870:18, 1880:10, 1900b:2B; Iowa State Census 1885:464). Despite the small family size of the Evans family, house II is more likely to have been built for them than for the later Kroeger family based on the architectural elements of the house, as described above. Marx Kroeger, in contrast, had a wife and five children at the time he bought the Evans property in 1889, and also lived with three other people: Claus Miller and his two children, Emma and Henry (Iowa State Census 1885:465; U.S. Bureau of the Census 1900a:5B). If not for the architectural style of the house, which incorporates no elements of the Queen Anne style popular by the late 1880s, it would appear more likely that house II was built for the Marx Kroeger family, based on the much larger size of the house and the family. In any case, house II had certainly been built by about 1895, and likely by 1894, when two houses on this farmstead are shown on the landowner map.

The Miller family came to live with the Kroeger family after Claus Miller's wife Anna (also called Catherine) was declared insane and institutionalized in 1881 after the birth of her younger child (U.S. Bureau of the Census 1880:24; Iowa Old Press 2018). The Millers may have been related to the Kroegers. Members of the Miller family were listed in the household of Marx Kroeger in census records

Iowa Department of Cultural Affairs
State Historical Society of Iowa
Iowa Site Inventory Form
Continuation Sheet

Site Number **82-05877**
Related District Number 82-05875

Page 3

house II on David C. and Melissa Hopson Evans Farm	Scott
Name of Property	County
24502 Great River Road	Princeton
Address	City

taken between 1885 and 1910. In the 1885 and 1910 census records, there is no indication that the Millers and Kroegers were related. In the 1900 census, however, Emma and Henry are listed as the niece and nephew of Marx Kroeger (Iowa State Census 1885:465; U.S. Bureau of the Census 1900a:5B, 1910:6A). Additional research is necessary to determine whether Claus Miller's wife was a sister of either Marx Kroeger or his wife Anna Ahmeling.

The house was occupied by members of the Kroeger family from 1889 until they sold the property in 1944. The house was reportedly occupied by Herman Kroeger, son of Marx and Anna Kroeger, in 1928, when a storm carried off the roof of a wooden silo on a nearby barn and sent it crashing through the roof of the house (*Davenport Democrat and Leader* 1928:19). However, as described in greater detail in the Iowa Site Inventory Form for site 82-05875, Emil Kroeger evidently occupied house II after 1931.

The farmstead was bought by David Kenneth Adams and his wife Esther B. Adams in 1944. They lived in house III, while their daughter and son-in-law, surnamed Suiter, lived in house II (Anderson 2018). The house is currently occupied by Karen Soenksen, a daughter of Harold and Margaret Anderson, who bought this property in 1970 (Anderson 2018).

This house is evaluated as not eligible for listing in the National Register of Historic Places (NRHP) under any criterion. Although it remains clearly recognizable as a ca. 1880s residence, many changes have reduced its period integrity from that era. Even since it attained essentially its present form in the early 1900s, it has undergone changes that include the construction of a basement garage under the front porch, removal of all exterior brick chimneys, construction of a prominent new chimney on the east facade, replacement of all the doors, and replacement of all of the windows in the rear wing. While its period integrity is somewhat higher than that of other buildings of a similar age in the area because it retains its original siding and some original windows, the retention of these features does not appear to be sufficient to overcome the loss of the other historic features to make the house individually eligible under Criterion C. While the farmstead was strongly associated for several decades with the Kroeger family, who were progressive and successful local farmers and also involved in local politics, the research conducted for the present report does not suggest that their importance in the local community relative to other progressive farmers of the period was sufficiently great to meet NRHP eligibility requirements under Criterion A or B. For these reasons, house II is evaluated as not eligible for listing in the National Register of Historic Places under Criterion A, B, or C, or Criteria Considerations A through G.

Iowa Department of Cultural Affairs
State Historical Society of Iowa
Iowa Site Inventory Form
Continuation Sheet

Site Number **82-05877**
Related District Number 82-05875

Page 4

house II on David C. and Melissa Hopson Evans Farm	Scott
Name of Property	County
24502 Great River Road	Princeton
Address	City

9. Major Bibliographic References

Anderson, Paul

- 2018 Telephone interview with Richard Carlson, Architectural Historian, Office of the State Archaeologist, The University of Iowa, February 28, 2018.

Carlson, Richard J.

- 2018 *Phase I Intensive Historic Architectural Investigation of the Proposed Anderson 400 IEDA Project, Section 10, T79N-R05E, Scott County, Iowa*. Technical Report 711. Office of the State Archaeologist, The University of Iowa, Iowa City.

Davenport Democrat and Leader (Davenport, Iowa)

- 1928 Kroeger Family Narrowly Escape Death When Storm Topples Silo Onto House. *The Davenport Democrat and Leader*, August 21, 1928.

Huebinger Survey and Map

- 1894 *Atlas of Scott County, Iowa*. Huebinger Survey and Map Publishing Co., Davenport, Iowa.

Iowa

- 1905 *Atlas of Scott County, Iowa*. The Iowa Publishing Co., Davenport, Iowa.

Iowa Old Press

- 2018 Transcription of Items in Brief column from *Davenport Weekly Gazette* (Davenport, Iowa), February 23, 1881. Electronic document, www.iowaoldpress.com/IA/Scott/1881/FEB.html; accessed February 25, 2018.

Iowa State Census

- 1885 Iowa State Census, Scott County, Princeton Township (David C. Evans and Marx "Kroeger" entries).

Lewis Historical

- 1952 *The Story of Iowa: The Progress of an American State*. Volume 3: Family and Personal History. Lewis Historical Publishing Co., New York.

Schmidt and Huebinger

- 1882 *Schmidt & Huebinger's Map of Scott County, Iowa*. Schmidt and Huebinger, Davenport, Iowa. Reproduction by Unigraphic, Inc., Evansville, Indiana, 1975.

Schroeder, Maria F.

- 2018 Conversation with Richard Carlson, 700 Clinton Street Building, Iowa City, Iowa, February 23, 2018.

United States Bureau of the Census

- 1870 United States Census, Population Schedules. Iowa, Scott County, Princeton Township (David C. Evans entry).
- 1880 United States Census, Population Schedules. Iowa, Scott County, Princeton Township, Enumeration District 257 (David C. Evans and "Clause" Miller entries).
- 1900a United States Census, Population Schedules. Iowa, Scott County, Princeton Township, Enumeration District 146 (Marx Kroeger entry).
- 1900b United States Census, Population Schedules. Wyoming, Sheridan County, Sheridan Precinct, Enumeration District 49 (David C. Evans entry).
- 1910 United States Census, Population Schedules. Iowa, Scott County, Princeton Township, Enumeration District 158 (Marx Kroeger entry).

Iowa Department of Cultural Affairs
State Historical Society of Iowa
Iowa Site Inventory Form
Continuation Sheet

Site Number 82-05877
Related District Number 82-05875

Page 5

house II on David C. and Melissa Hopson Evans Farm	Scott
Name of Property	County
24502 Great River Road	Princeton
Address	City



Figure 1. House II (site 82-05877) on the David C. and Melissa Hopson Evans Farm (site 82-05875), 24502 Great River Road, Princeton, Scott County, Iowa, facing northwest. Aside from historical photographs, all photographs in this report by Richard Carlson, February 22, 2018.

Iowa Department of Cultural Affairs
State Historical Society of Iowa
Iowa Site Inventory Form
Continuation Sheet

Site Number 82-05877
Related District Number 82-05875

Page 6

house II on David C. and Melissa Hopson Evans Farm	Scott
Name of Property	County
24502 Great River Road	Princeton
Address	City



Figure 2. House II (site 82-05877) on the David C. and Melissa Hopson Evans Farm (site 82-05875), 24502 Great River Road, Princeton, Scott County, Iowa, facing west-southwest.

Iowa Department of Cultural Affairs
State Historical Society of Iowa
Iowa Site Inventory Form
Continuation Sheet

Site Number 82-05877
Related District Number 82-05875

Page 7

house II on David C. and Melissa Hopson Evans Farm	Scott
Name of Property	County
24502 Great River Road	Princeton
Address	City



Figure 3. Rear wing of house II (site 82-05877) on the David C. and Melissa Hopson Evans Farm (site 82-05875), 24502 Great River Road, Princeton, Scott County, Iowa, facing southeast.

Iowa Department of Cultural Affairs
State Historical Society of Iowa
Iowa Site Inventory Form
Continuation Sheet

Site Number 82-05877
Related District Number 82-05875

Page 8

house II on David C. and Melissa Hopson Evans Farm
Name of Property
24502 Great River Road
Address

Scott
County
Princeton
City



Figure 4. House II (site 82-05877) on the David C. and Melissa Hopson Evans Farm (site 82-05875), 24502 Great River Road, Princeton, Scott County, Iowa, facing southeast.

Iowa Department of Cultural Affairs
State Historical Society of Iowa
Iowa Site Inventory Form
Continuation Sheet

Site Number **82-05877**
Related District Number **82-05875**

Page 9

house II on David C. and Melissa Hopson Evans Farm	Scott
Name of Property	County
24502 Great River Road	Princeton
Address	City



Figure 5. House II (site 82-05877) on the David C. and Melissa Hopson Evans Farm (site 82-05875), 24502 Great River Road, Princeton, Scott County, Iowa, facing east-northeast.

Iowa Department of Cultural Affairs
State Historical Society of Iowa
Iowa Site Inventory Form
Continuation Sheet

Site Number 82-05877
Related District Number 82-05875

Page 10

house II on David C. and Melissa Hopson Evans Farm	Scott
Name of Property	County
24502 Great River Road	Princeton
Address	City



Figure 6. House II (site 82-05877) on the David C. and Melissa Hopson Evans Farm (site 82-05875), 24502 Great River Road, Princeton, Scott County, Iowa, facing north-northeast.

Iowa Department of Cultural Affairs
State Historical Society of Iowa
Iowa Site Inventory Form
Continuation Sheet

Site Number **82-05877**
Related District Number **82-05875**

Page 11

house II on David C. and Melissa Hopson Evans Farm	Scott
Name of Property	County
24502 Great River Road	Princeton
Address	City



Figure 7. Historical view of house II (site 82-05877) on the David C. and Melissa Hopson Evans Farm (site 82-05875), facing northwest. This photograph shows the family of Marx Kroeger, with his wife and children named in the photograph. Based on the apparent ages of the children shown in this photograph, and their birth months and years known from the 1900 census, this photograph can be dated fairly precisely to within about a year of 1895. Note that the original front porch of the house has not yet been replaced by the present wraparound porch, and that the rear wing has not yet been raised to two stories. The three people shown to the left of the Kroeger family are almost certainly Claus Miller and his children, Henry Miller and Emma Miller. Photograph in possession of the Anderson family.

Iowa Department of Cultural Affairs
State Historical Society of Iowa
Iowa Site Inventory Form
Continuation Sheet

Site Number **82-05877**
Related District Number **82-05875**

Page 12

house II on David C. and Melissa Hopson Evans Farm	Scott
Name of Property	County
24502 Great River Road	Princeton
Address	City



Figure 8. Historical view of house II (site 82-05877) on the David C. and Melissa Hopson Evans Farm (site 82-05875), facing northeast. This photograph appears to show Herman Kroeger on the right, and presumably his wife Clarissa on the left, and one of their children between them. Since the child appears to be male, and Herman and Clarissa Kroeger had only one son, Ellwyn, the child is likely Ellwyn, who was born in December 1905 (Lewis Historical 1952:526). If so, then this photograph was probably taken within about a year of 1911. (If this is the case, however, it is curious that the couple's two other children—their older daughter Edith and Ellwyn's twin sister Elaine—are not pictured with them in this family photograph.) In the roughly 15 years between the ca. 1895 photograph shown in Figure 7 and this photograph, the wraparound porch had been built and the rear wing had been raised to two stories. Note the three brick chimneys, all of which have been removed on the exterior. What appears in this photograph to be a fourth chimney at the rear of the house is actually the chimney of the summer kitchen. The one-story addition on the northwest corner is also smaller than it is today. Photograph in possession of the Anderson family.

Site Inventory Form
State Historical Society of Iowa
(November 2005)

State Inventory No. 82-05878

☒ New ☐ Supplemental

☒ Part of a district with known boundaries (enter inventory no.) 82-05875

Relationship: ☒ Contributing ☐ Noncontributing

☐ Contributes to a potential district with yet unknown boundaries

National Register Status:(any that apply) ☐ Listed ☐ De-listed ☐ NHL ☐ DOE

9-Digit SHPO Review & Compliance (R&C) Number _____

☐ Non-Extant (enter year) _____

1. Name of Property

historic name house III on David C. and Melissa Hopson Evans Farm

other names/site number _____

2. Location

street & number 24500 Great River Road

city or town Princeton

☒ vicinity, county Scott

Legal Description: (If Rural) Township Name

Township No.

Range No.

Section

Quarter

of Quarter

Princeton

79N

5E

10

NE

SE

(If Urban) Subdivision _____

Block(s) _____

Lot(s) _____

3. State/Federal Agency Certification [Skip this Section]

4. National Park Service Certification [Skip this Section]

5. Classification

Category of Property (Check only one box)

☒ building(s)

☐ district

☐ site

☐ structure

☐ object

Number of Resources within Property

If Non-Eligible Property

Enter number of:

1 buildings

— sites

— structures

— objects

1 Total

If Eligible Property, enter number of:

Contributing Noncontributing

— — buildings

— — sites

— — structures

— — objects

— — Total

Name of related project report or multiple property study (Enter "N/A" if the property is not part of a multiple property examination).

Title

Carlson 2018, Technical Report 711

Historical Architectural Data Base Number

82-069

6. Function or Use

Historic Functions (Enter categories from instructions)

01A01 DOMESTIC/single dwelling/residence

Current Functions (Enter categories from instructions)

70 VACANT/NOT IN USE

7. Description

Architectural Classification (Enter categories from instructions)

09A02 OTHER/house/gable-front-and-wing

Materials (Enter categories from instructions)

foundation

10A CONCRETE/block

walls (visible material)

02A WOOD/weatherboard

roof

08A ASPHALT/composition shingles

other _____

Narrative Description (☒ SEE CONTINUATION SHEETS, WHICH MUST BE COMPLETED)

8. Statement of Significance

Applicable National Register Criteria (Mark "x" representing your opinion of eligibility after applying relevant National Register criteria)

☐ Yes ☒ No ☐ More Research Recommended

☐ Yes ☒ No ☐ More Research Recommended

☐ Yes ☒ No ☐ More Research Recommended

☐ Yes ☐ No ☐ More Research Recommended

A Property is associated with significant events.

B Property is associated with the lives of significant persons.

C Property has distinctive architectural characteristics.

D Property yields significant information in archaeology or history.

County Scott
City Princeton
05875

Address 24500 Great River Road

Site Number 82-05878

District Number 82-

Criteria Considerations

- ☐ A Owned by a religious institution or used for religious purposes.
☐ B Removed from its original location.
☐ C A birthplace or grave.
☐ D A cemetery.
☐ E A reconstructed building, object, or structure.
☐ F A commemorative property.
☐ G Less than 50 years of age or achieved significance within the past 50 years.

Areas of Significance (Enter categories from instructions)

02 ARCHITECTURE

Significant Dates

Construction date

1910

☒ check if circa or estimated date

Other dates, including renovation

Significant Person

(Complete if National Register Criterion B is marked above)

N/A

Architect/Builder

Architect

unknown

Builder

unknown

Narrative Statement of Significance (☒ SEE CONTINUATION SHEETS, WHICH MUST BE COMPLETED)

9. Major Bibliographical References

Bibliography ☒ See continuation sheet for citations of the books, articles, and other sources used in preparing this form

10. Geographic Data

UTM References (OPTIONAL)

Zone	Easting	Northing	Zone	Easting	Northing
1	_____	_____	2	_____	_____
3	_____	_____	4	_____	_____

☐ See continuation sheet for additional UTM references or comments

11. Form Prepared By

name/title Richard J. Carlson/Architectural Historian

organization Office of the State Archaeologist

street & number 700 Clinton Street Building

city or town Iowa City

state IA

date 2/23/2018

telephone 319-384-0732

zip code 52242-1030

ADDITIONAL DOCUMENTATION (Submit the following items with the completed form)

FOR ALL PROPERTIES

- Map:** showing the property's location in a town/city or township.
- Site plan:** showing position of buildings and structures on the site in relation to public road(s).
- Photographs:** representative black and white photos. If the photos are taken as part of a survey for which the Society is to be curator of the negatives or color slides, a photo/catalog sheet needs to be included with the negatives/slides and the following needs to be provided below on this particular inventory site:

Roll/slide sheet # N/A Frame/slot # _____ Date Taken _____

Roll/slide sheet # _____ Frame/slot # _____ Date Taken _____

Roll/slide sheet # _____ Frame/slot # _____ Date Taken _____

☐ See continuation sheet or attached *photo & slide catalog sheet* for list of photo roll or slide entries.

☒ Photos/illustrations without negatives are also in this site inventory file.

FOR CERTAIN KINDS OF PROPERTIES, INCLUDE THE FOLLOWING AS WELL

- Farmstead & District:** (List of structures and buildings, known or estimated year built, and contributing or noncontributing status)
- Barn:**
 - A sketch of the frame/truss configuration in the form of drawing a typical middle bent of the barn.
 - A photograph of the loft showing the frame configuration along one side.
 - A sketch floor plan of the interior space arrangements along with the barn's exterior dimensions in feet.

State Historic Preservation Office (SHPO) Use Only Below This Line

Concur with above survey opinion on National Register eligibility: ☐ Yes ☐ No ☐ More Research Recommended

☐ This is a locally designated property or part of a locally designated district.

Comments: _____

Evaluated by (name/title): _____

Date: _____

Iowa Department of Cultural Affairs
State Historical Society of Iowa
Iowa Site Inventory Form
Continuation Sheet

Site Number **82-05878**
Related District Number 82-05875

Page 1

house III on David C. and Melissa Hopson Evans Farm	Scott
Name of Property	County
24500 Great River Road	Princeton
Address	City

7. Narrative Description

House III. This house is located at 24500 Great River Road near Princeton, Scott County, Iowa. The house is divided into two principal sections (Figures 1–6). The front section on the north is a 1½-story cross-gabled building in the shape of an L, essentially a 26' x 33' rectangle in plan with a roughly 7' x 7' notch removed from the northwest corner. The rear section is a modern one-story hip-roofed wing. Also included in the building's footprint are a one-story, hip-roofed wing within and extending north from the "notch" described above, an original front porch, and a modern rear deck. The house is notable for its clipped gabled roofs on all four facades. The clipped gables have open cornice returns. The corners of the house have tiny pilasters, most of which have decorative capitals that visually support the open cornice returns.

The front facade, which faces north, has a three-sided bay window on the first floor next to what appears to be an original front door. The door has a large pane of obscure glass, probably not original, under a drip molding and row of dentils. Three panels are located in the lower part of the door. The windows on the first story all appear to be modern 1/1-light replacements. The front porch has simple square posts and no railing, though historical photographs show that it once had a railing. The porch also has a wood deck supported by rock-faced concrete block piers, and a lattice apron between the piers. Above the porch roof is a tripartite window with three 1/1-light sash, the center window slightly broader than the two on either side.

The one-story wing on the northwest appears to date to the mid-twentieth century, perhaps the 1950s or 1960s. It has a smooth-faced concrete block foundation, clapboard siding, and a hipped roof covered in composition shingles. It has a single large nearly square window on the north facade and no other fenestration. It is not shown on a historical photograph of the house that appears to date to about the 1940s, although that photograph shows a nearly square window in the north facade of the west-facing gabled wing, where the addition is now (Figure 7).

The west facade is dominated by the west-facing clipped gabled wing near the center of the facade. It has two modern 1/1-light windows on the first story and two earlier 1/1-light windows on the second story. No fenestration is present above the one-story wing on the north. The rear facade, including the south ends of the east and west facades, is dominated by a one-story modern addition. This addition sits on a poured concrete foundation molded to imitate brick, a feature most popular around the 1970s and 1980s. The wing is clad in vinyl siding and has a composition shingle roof. The fenestration on this addition is modern, including tall single and paired single-light windows on the west end and a sliding glass door on the south facade that opens onto a modern deck. The clipped gabled roof above the rear addition function as a wall dormer in the east half of the south facade. It contains two 1/1-light windows, the western of which is a later smaller window in a reduced opening.

The east facade has a three-sided bay window on the first story similar to that on the front facade. Two 1/1-light windows are located in the gable field above the bay window. The foundation under the southern part of the bay window has been replaced with later smooth-faced concrete block, but the original rock-faced concrete block foundation survives north of this repair. A single 1/1-light window is located on the first floor to the north of the bay window.

Integrity. This residence retains a moderate to high degree of period integrity from the time it was built. The principal changes include the construction of a large modern addition and deck on the rear

Iowa Department of Cultural Affairs
State Historical Society of Iowa
Iowa Site Inventory Form
Continuation Sheet

Site Number **82-05878**
Related District Number 82-05875

Page 2

house III on David C. and Melissa Hopson Evans Farm	Scott
Name of Property	County
24500 Great River Road	Princeton
Address	City

and the replacement of most of all of the first floor windows and at least one second-story window on the rear. An addition on the northwest corner is later than the original house, but it is probably at least fifty years old, built in the 1950s or 1960s. The house retains excellent integrity of *location*, since it appears not to have been moved since it was first built. Its integrity of *setting* remains moderate to high. It stands in a wooded area near Bud Creek, with the associated farm buildings located to the west and north, although most or all of the farm buildings are different from the ones in place when the house was built. Its integrity of *design*, *materials*, and *workmanship* remain moderate to high, with the principal changes that compromise the building's integrity being the construction of the large rear wing, the replacement of many of the windows, and the loss of the front porch railing. House III is no longer occupied, but it retains its appearance from the time it was used as a residence, as well as its association with the agricultural outbuildings on the farm. For these reasons, its integrity of *feeling* and *association* remain high.

8. Statement of Significance

As described in greater detail in the Iowa Site Inventory Form for site 82-05875, the David C. and Melissa Hopson Evans Farm, house III was built for members of the Kroeger family, probably around 1910. It is not clear whether it was built for Marx and Anna Kroeger, who bought the property in 1889, or for their oldest son, Herman Kroeger. The only historical source that identifies which of the houses on this farmstead Herman Kroeger occupied is a 1928 newspaper article that states that Herman Kroeger lived in the north house (house II, site 85-05877), while his brother Emil Kroeger lived in the house to the south (house III). However, as described in greater detail in the Iowa Site Inventory Form for site 82-05875, all other evidence suggests that after 1931, at least, Herman Kroeger's family occupied house III. It is not clear whether the 1928 newspaper account was in error, or whether the two brothers switched houses around 1930.

House III had probably been built by 1910, when Marx Kroeger and Herman Kroeger were listed in the federal census of Princeton Township in households recorded next to each other (U.S. Bureau of the Census 1910:6A). It is also possible, though less likely, that either Herman Kroeger or his parents and siblings occupied an earlier house on this site (house I, site 82-05876) in 1910, and house III was not constructed until later in the 1910s. House III appears to have been built between about 1905 and 1915, based on stylistic features such as its rock-faced concrete block foundation, shallow three-sided bay windows, 1/1-light windows, and jerkinhead (clipped) gables with open cornice returns.

In any case, this house was likely occupied initially by the family of either Marx and Anna Kroeger and later their son Emil Kroeger, or else the family of Emil's older brother Herman. From the 1930s until the two brothers sold this farm in 1944, house III was occupied by Herman Kroeger. For more on members of the Kroeger family, see the Iowa Site Inventory Form for site 82-05875.

In 1944, the property was sold to David Kenneth Adams and his wife Esther B. Adams. The Adamses lived on this property in house III, while their daughter and son-in-law, surnamed Suiter, lived in house II (Anderson 2018). After the farm was purchased by the Anderson family in 1970, Harold and Margaret Anderson moved their family into house III, and rented out house II (Anderson 2018). House III currently stands vacant.

Iowa Department of Cultural Affairs
State Historical Society of Iowa
Iowa Site Inventory Form
Continuation Sheet

Site Number **82-05878**
Related District Number 82-05875

Page 3

house III on David C. and Melissa Hopson Evans Farm	Scott
Name of Property	County
24500 Great River Road	Princeton
Address	City

This house is evaluated as not eligible for listing in the National Register of Historic Places under any criterion. Although it remains clearly recognizable as a ca. 1910 residence, several changes have reduced its period integrity from that era, particularly the construction of a large one-story rear addition. Its architectural style is unusual in the area, particularly its use of jerkinhead gables, and its period integrity may be somewhat higher than other buildings of a similar age in the area because it retains its original siding and some original windows. Nonetheless, the retention of these features does not appear to be sufficient to overcome the loss of integrity resulting from the rear addition, replacement windows, and other changes to the house. Moreover, no evidence was uncovered during the research for the present report to suggest that the house is significant for its association with any person or event. For these reasons, house III is evaluated as not eligible for listing in the National Register of Historic Places under Criterion A, B, or C, or Criteria Considerations A through G.

9. Major Bibliographic References

Anderson, Paul

2018 Telephone interview with Richard Carlson, Architectural Historian, Office of the State Archaeologist, The University of Iowa, February 28, 2018.

Carlson, Richard J.

2018 *Phase I Intensive Historic Architectural Investigation of the Proposed Anderson 400 IEDA Project, Section 10, T79N-R05E, Scott County, Iowa*. Technical Report 711. Office of the State Archaeologist, The University of Iowa, Iowa City.

United States Bureau of the Census

1910 United States Census, Population Schedules. Iowa, Scott County, Princeton Township, Enumeration District 158 (Marx Kroeger and Herman Kroeger entries).

Iowa Department of Cultural Affairs
State Historical Society of Iowa
Iowa Site Inventory Form
Continuation Sheet

Site Number **82-05878**
Related District Number **82-05875**

Page 4

house III on David C. and Melissa Hopson Evans Farm	Scott
Name of Property	County
24500 Great River Road	Princeton
Address	City



Figure 1. House III (site 82-05878) on the David C. and Melissa Hopson Evans Farm (site 82-05875), 24500 Great River Road, Princeton, Scott County, Iowa, facing southwest. Stone bench and fireplace shown near house. Aside from historical photographs, all photographs in this report by Richard Carlson, February 22, 2018.

Iowa Department of Cultural Affairs
State Historical Society of Iowa
Iowa Site Inventory Form
Continuation Sheet

Site Number **82-05878**
Related District Number 82-05875

Page 5

house III on David C. and Melissa Hopson Evans Farm	Scott
Name of Property	County
24500 Great River Road	Princeton
Address	City



Figure 2. House III (site 82-05878) on the David C. and Melissa Hopson Evans Farm (site 82-05875), 24500 Great River Road, Princeton, Scott County, Iowa, facing southwest.

Iowa Department of Cultural Affairs
State Historical Society of Iowa
Iowa Site Inventory Form
Continuation Sheet

Site Number **82-05878**
Related District Number 82-05875

Page 6

house III on David C. and Melissa Hopson Evans Farm	Scott
Name of Property	County
24500 Great River Road	Princeton
Address	City



Figure 3. House III (site 82-05878) on the David C. and Melissa Hopson Evans Farm (site 82-05875), 24500 Great River Road, Princeton, Scott County, Iowa, facing south-southeast.

Iowa Department of Cultural Affairs
State Historical Society of Iowa
Iowa Site Inventory Form
Continuation Sheet

Site Number **82-05878**
Related District Number 82-05875

Page 7

house III on David C. and Melissa Hopson Evans Farm	Scott
Name of Property	County
24500 Great River Road	Princeton
Address	City



Figure 4. House III (site 82-05878) on the David C. and Melissa Hopson Evans Farm (site 82-05875), 24500 Great River Road, Princeton, Scott County, Iowa, facing east-southeast.

Iowa Department of Cultural Affairs
State Historical Society of Iowa
Iowa Site Inventory Form
Continuation Sheet

Site Number **82-05878**
Related District Number **82-05875**

Page 8

house III on David C. and Melissa Hopson Evans Farm	Scott
Name of Property	County
24500 Great River Road	Princeton
Address	City



Figure 5. House III (site 82-05878) on the David C. and Melissa Hopson Evans Farm (site 82-05875), 24500 Great River Road, Princeton, Scott County, Iowa, facing east-southeast.

Iowa Department of Cultural Affairs
State Historical Society of Iowa
Iowa Site Inventory Form
Continuation Sheet

Site Number **82-05878**
Related District Number 82-05875

Page 9

house III on David C. and Melissa Hopson Evans Farm	Scott
Name of Property	County
24500 Great River Road	Princeton
Address	City



Figure 6. House III (site 82-05878) on the David C. and Melissa Hopson Evans Farm (site 82-05875), 24500 Great River Road, Princeton, Scott County, Iowa, facing east-southeast.

Iowa Department of Cultural Affairs
State Historical Society of Iowa
Iowa Site Inventory Form
Continuation Sheet

Site Number **82-05878**
Related District Number **82-05875**

Page 10

house III on David C. and Melissa Hopson Evans Farm	Scott
Name of Property	County
24500 Great River Road	Princeton
Address	City



Figure 7. Historical view of house III (site 82-05878) on the David C. and Melissa Hopson Evans Farm (site 82-05875), 24500 Great River Road, Princeton, Scott County, Iowa, facing south-southeast. The photograph is undated, but based on the automobile types and women's clothing styles shown, it appears to date to the 1930s or 1940s. This photograph was given to the present owners of the property with other historical photographs showing members of the Kroeger family, so this photograph also likely dates to the Kroegers' period of ownership, which ended when they sold the property in 1944. Photograph in possession of the Anderson family.